# **Golden Valley Ranch Standard Drawings**

#### I. Road Sections

- A. Typical Local Street
- B Typical Collector Street
- C Typical Entry Street
- D. Typical Minor Arterial Street Fronting Golf Course
- E. Typical Minor Arterial Street
- F Typical Minor Arterial Street with Median
- G. Typical Loop Road #1 Street
- H Typical Loop Road #2 Street
- I Major Arterial
  - 1 Typical Major Arterial Street
  - 2. Typical Intermediate Major Arterial Street
- J. Typical 100' Right-of-Way Half Street
- K. Typical Alley Street

#### II. Wall and Fence Details

- A. Wrought Iron Fence
- B. Easement Detail/Removable Bollards
- C. CMU Block Retaining Wall Details
  - 1 Retaining/Screen Wall Detail
  - 2 Drain/Construction Joint Detail
- D. Concrete Retaining Walls

- 1 Types 1A & 1B Cantilever Concrete Retaining
- 2. Type 2 Cantilever Concrete Retaining Wall
- 3. Cantilever Concrete Retaining Wall Detail No. 1
- 4 Cantilever Concrete Retaining Wall Detail No. 2
- 5. Cantilever Concrete Retaining Wall Detail No.3

#### III. Lot Details

- A. Typical Lot Grading
- B. Typical Lot Setbacks
- C. Rear Yard Sections at Perimeter Street/Boundary
- D Rear Yard Section with Scarp/at Golf Course
- E. Side Yard Retaining/No Retaining
- F. Side Yard Corner Lots at Collector Retaining/No Retaining
- G Side Yard Corner Lots Retaining/No Retaining

### IV. Street Lights

- A. Street Light Conduit and Pole Locations
- B. Street Light Standards
- C Street Light Base Detail
- D. Pull Box Details
- E. Pull Box Locations
- F. Single Meter Service Pedestal
- G Service Meter Pedestal Setback
- H. Service Pedestal Foundations

### V. Curb and Sidewalk

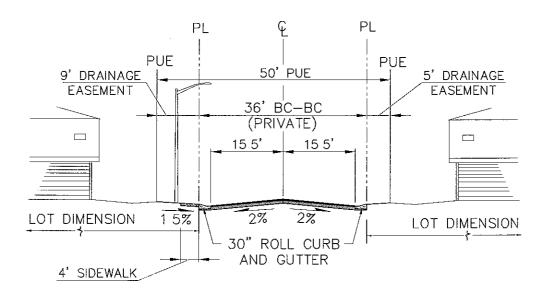
- A. Sidewalk Details
  - 1 Expansion/Contraction Joints

- 2. Driveways Residential/Commercial
- B. Curb Cuts for Drainage
- C. Sidewalk Ramp Type D
- D Curb
  - 1 Vertical Curb (Type A)/24" Roll Curb (Type C & D)/Ribbon Curb
  - 2 30" Roll Curb
  - 3. Transition from Vertical Curb (Type A) to Roll Curb
  - 4. Scuppers
- VI Valley Gutter
- VII. Storm Drain
  - A Modified Type "D" Drop Inlet in Sump/on Grade
  - B. Culvert Headwalls 17" x 13" CMAP to 83" x 57" CMAP
  - C. Culvert Headwalls 48" CMP to 72" CMP
  - D Estimate of Quantities Type 1 Headwall
  - E Metal End Sections 12" CMP to 84" CMP and 17" x 13" CMAP to 83" x 57" CMAP
  - F. RCP End Section 18" RCP to 54" RCP
  - G Method of Extending RCB Culverts
  - H. Culvert Headwalls 42" RCP to 72" RCP
  - I. Culvert Headwalls 23" x 14" Oval RCP to 60" x 38" Oval RCP
  - J. Culvert Headwalls 68" x 43" Oval RCP to 91" x 58" Oval RCP
  - K. Pre-cast Concrete Box Culvert
  - L RCB Culverts, General Notes
  - M. RCB Culverts Type I Headwalls
  - N. RCB Culverts Type II Headwalls (Sheet 1)
  - O. RCB Culverts Type II Headwalls (Sheet 2)

- P. Single RCB Culverts
- Q. Double RCB Culverts
- R. Additional Cell to be used with Double RCB Culverts to provide for Multiple Cell Culverts
- S. Toe Protection
- I. Conduit Outlet Erosion Protection

### VIII Utilities

- A. Utility Locations
  - 1 Typical Water and Sanitary Sewer Main Line Section
  - 2 Typical Underground Utility Locations in Residential Street
  - 3. Typical Water and Sanitary Sewer Laterals
  - 4 Typical Fire Hydrant Locations
- B. Pre-cast Concrete Sewer Manhole
- C. Water Service Installation 5/8", 3/4", 1" Meter Sizes Unimproved Area



## TYPICAL LOCAL STREET SECTION (PRIVATE) NOT TO SCALE

NOTE: ALL LANDSCAPING/WALKWAYS FROM PL TO PL TO BE MAINTAINED BY MASTER HOMEOWNER ASSOCIATION

### RHODES HOMES ARIZONA, LLC GOLDEN VALLEY RANCH

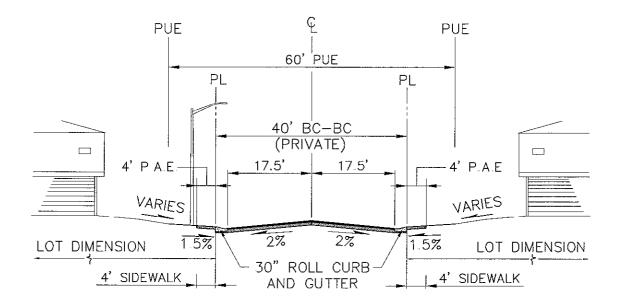


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FIGURE I-A

DATE: 20 DEC 2005



## TYPICAL COLLECTOR STREET SECTION (PRIVATE) NOT TO SCALE

NOTE: ALL LANDSCAPING/WALKWAYS FROM PL TO PL TO BE MAINTAINED BY MASTER HOMEOWNER ASSOCIATION

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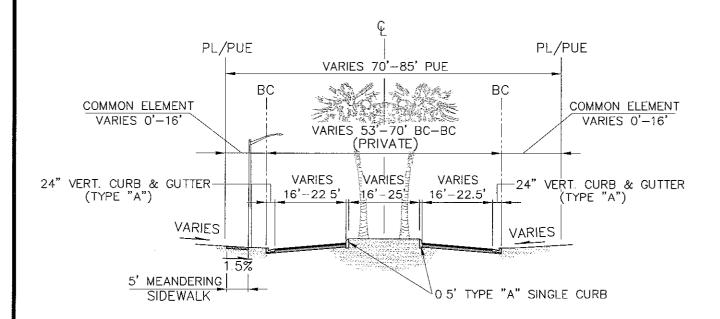


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FIGURE I-B

DATE: 20 DEC 2005



## TYPICAL ENTRY STREET SECTION (PRIVATE) NOT TO SCALE

NOTE: ALL LANDSCAPING/WALKWAYS FROM PL TO PL TO BE MAINTAINED BY MASTER HOMEOWNER ASSOCIATION

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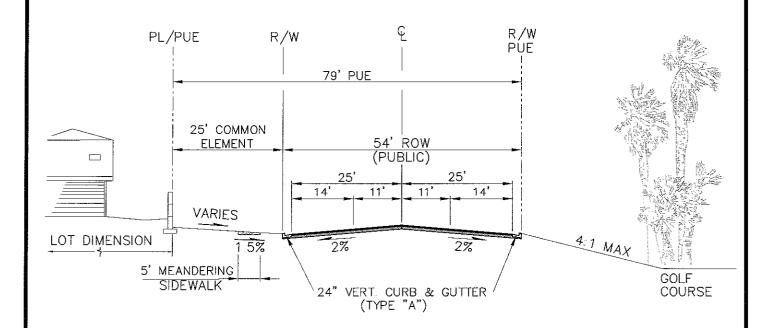


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FIGURE I-C

DATE: 20 DEC 2005



# TYPICAL MINOR ARTERIAL STREET SECTION FRONTING GOLF COURSE (PUBLIC) NOT TO SCALE

NOTE: ALL LANDSCAPING/WALKWAYS FROM PL TO PL TO BE MAINTAINED BY MASTER HOMEOWNER ASSOCIATION

### RHODES HOMES ARIZONA, LLC GOLDEN VALLEY RANCH

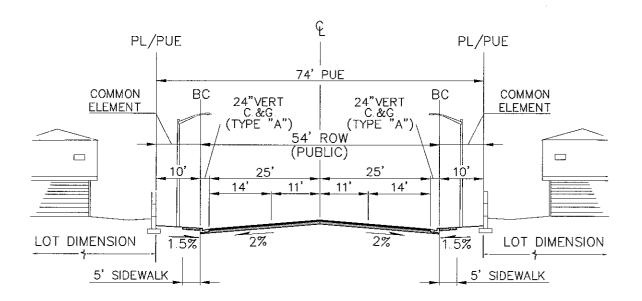


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FIGURE I-D

DATE: 20 DEC 2005



## TYPICAL MINOR ARTERIAL STREET SECTION (PUBLIC) NOT TO SCALE

NOTE: ALL LANDSCAPING/WALKWAYS FROM PL TO PL TO BE MAINTAINED BY MASTER HOMEOWNER ASSOCIATION

### RHODES HOMES ARIZONA, LLC GOLDEN VALLEY RANCH

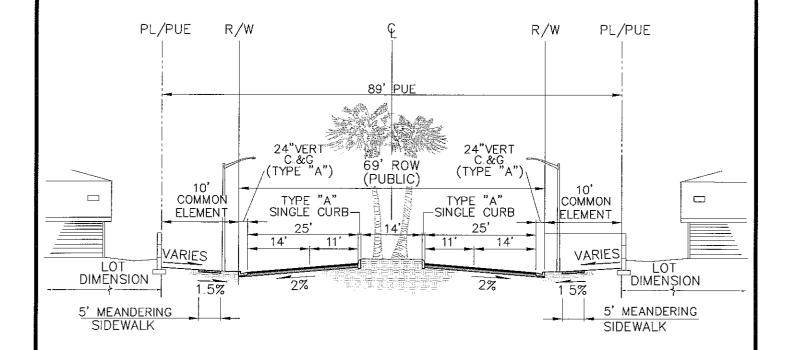


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FIGURE I-E

DATE: 20 DEC 2005



TYPICAL MINOR ARTERIAL STREET SECTION
WITH MEDIAN (PUBLIC) NOT TO SCALE

NOTE: ALL LANDSCAPING/WALKWAYS FROM PL TO PL TO BE MAINTAINED BY MASTER HOMEOWNER ASSOCIATION

### RHODES HOMES ARIZONA, LLC GOLDEN VALLEY RANCH

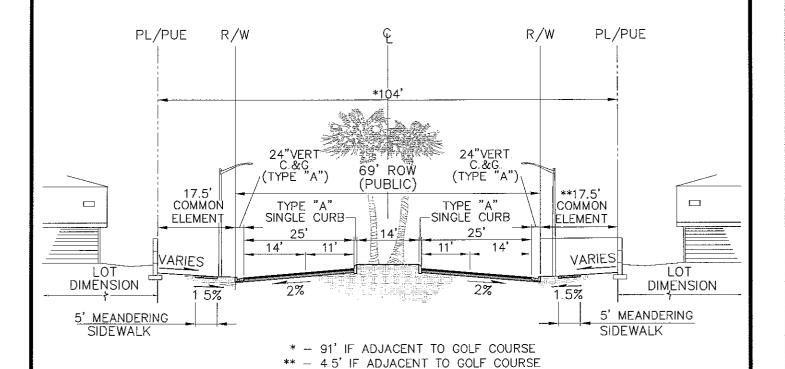


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FIGURE 1-F

DATE: 20 DEC 2005



TYPICAL LOOP RD. #1 STREET SECTION

(PUBLIC) NOT TO SCALE

NOTE: ALL LANDSCAPING/WALKWAYS FROM PL TO PL TO BE MAINTAINED BY MASTER HOMEOWNER ASSOCIATION

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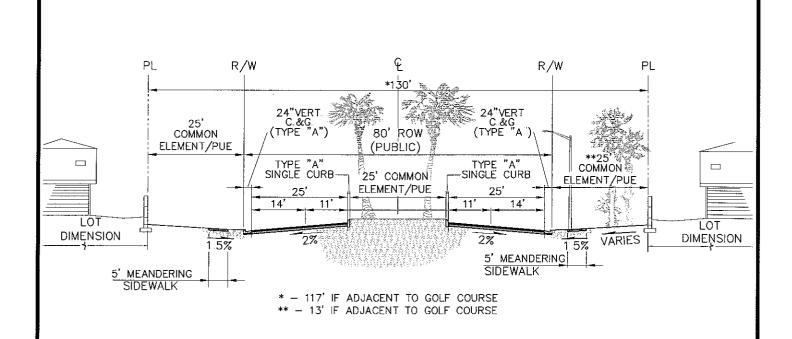


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FIGURE I-G

DATE: 20 DEC 2005



TYPICAL LOOP RD. #2 STREET SECTION
(PUBLIC) NOT TO SCALE

NOTE: ALL LANDSCAPING/WALKWAYS FROM PL TO PL TO BE MAINTAINED BY MASTER HOMEOWNER ASSOCIATION

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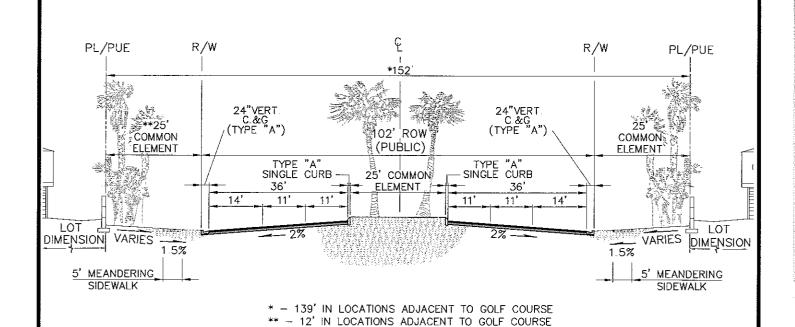


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FIGURE I-H

DATE: 20 DEC 2005



### TYPICAL MAJOR ARTERIAL STREET SECTION

(PUBLIC)
NORTH OF GOLF COURSE FROM
ROUND-A-BOUT TO SHINARUMP

NOT TO SCALE

NOTE: ALL LANDSCAPING/WALKWAYS FROM PL TO PL TO BE MAINTAINED BY MASTER HOMEOWNER ASSOCIATION

### RHODES HOMES ARIZONA, LLC GOLDEN VALLEY RANCH

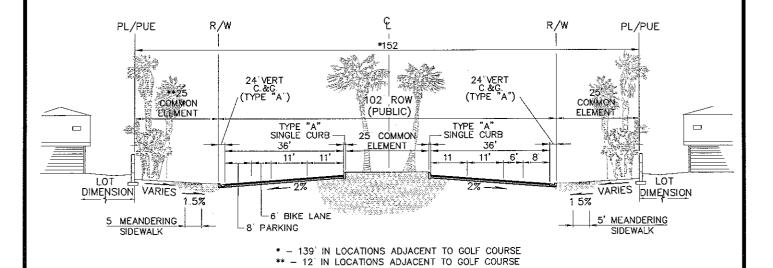


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FIGURE I-I-1

DATE: 20 DEC 2005



TYPICAL INTERMEDIATE MAJOR ARTERIAL
STREET SECTION
(PUBLIC)
NOT TO SCALE

NOTE: ALL LANDSCAPING/WALKWAYS FROM PL TO PL TO BE MAINTAINED BY MASTER HOMEOWNER ASSOCIATION

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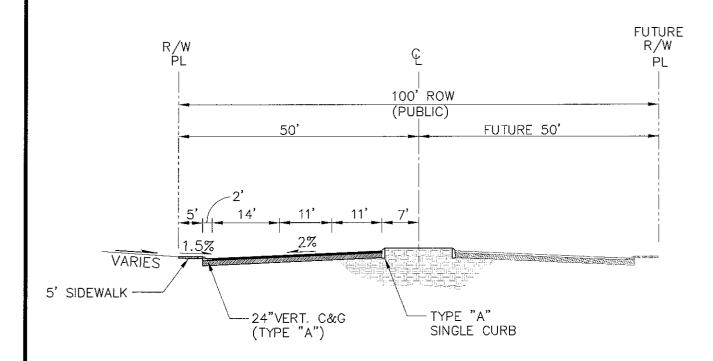


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FIGURE I-I-2

DATE: 20 DEC 2005



## TYPICAL 100' RIGHT-OF-WAY HALF STREET SECTION

NOT TO SCALE

(PUBLIC)
SECTION LINE ROADWAYS

NOTE: ALL LANDSCAPING/WALKWAYS FROM PL TO PL TO BE MAINTAINED BY MASTER HOMEOWNER ASSOCIATION

## RHODES HOMES ARIZONA, LLC GOLDEN VALLEY RANCH

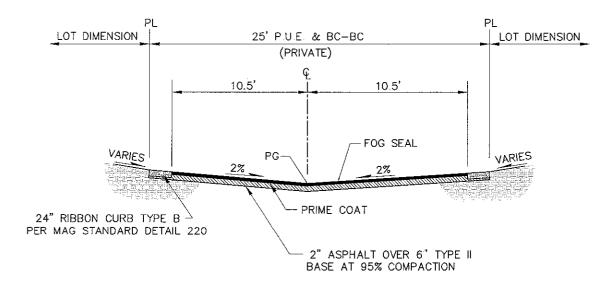


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FIGURE I-J

DATE: 20 DEC 2005



NOTE: FINAL PAVEMENT SECTIONS TO BE BASED ON ADDITIONAL R-VALUE TESTS PERFORMED DURING CONSTRUCTION OF THE ACTUAL SUBGRADE MATERIALS AND TRAFFIC INFORMATION.

## TYPICAL ALLEY STREET SECTION (PRIVATE) NOT TO SCALE

NOTE: ALL LANDSCAPING/WALKWAYS FROM PL TO PL TO BE MAINTAINED BY MASTER HOMEOWNER ASSOCIATION

## RHODES HOMES ARIZONA, LLC GOLDEN VALLEY RANCH

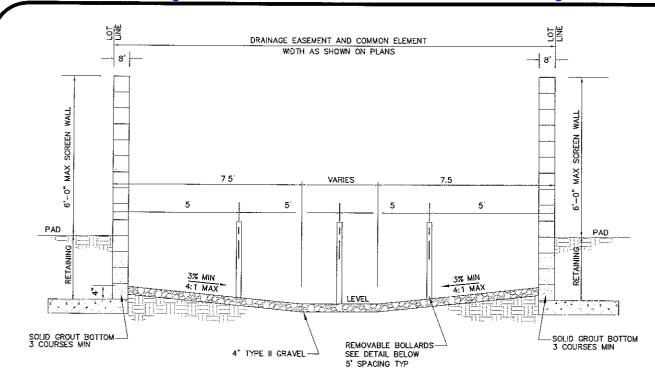


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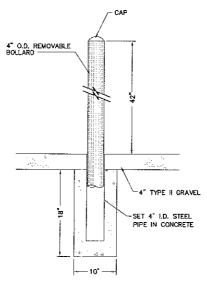
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FIGURE I-K

DATE: 20 DEC 2005



### DRAINAGE EASEMENT TO BE PRIVATELY MAINTAINED



REMOVABLE BOLLARD DETAIL

## RHODES HOMES ARIZONA, LLC GOLDEN VALLEY RANCH

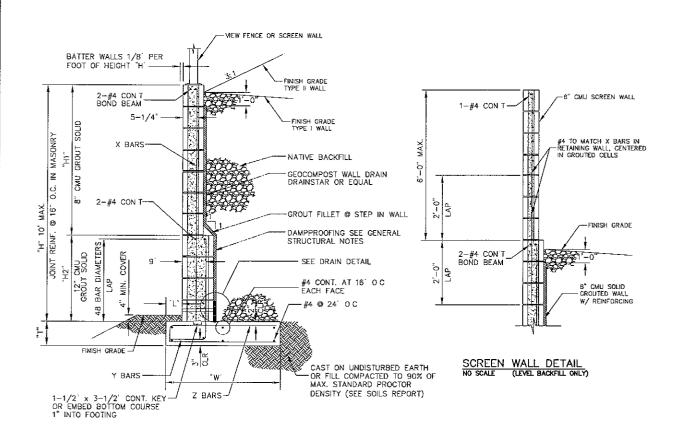


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FIGURE II-B

DATE: 20 DEC 2005



			TYPE	J DIMEN	SIONS -	LEVEL BACKFI	ш	
Н	H1	H2	W	T	Ł	X BARS	Y BARS	Z BARS
			WALLS	NOT REC	UIRING S	SPECIAL INSPEC	TION	•
2'-0"	2'-0"	-	2'-6"	12"	9"	#4 @ 48**	#4 @ 48"**	#4 Ø 24"
2 -8*	2'-8"	-	2'-6"	12"	9"	#4 @ 48**	#4 @ 48"**	#4 Ø 24"
3'-4"	3 -4"	-	2'-6"	12"	9"	#4 @ 48"*	#4 @ 48"**	#4 @ 24
4'-0"	4'-0"	_	2 -9"	12	9"	#4 @ 48"	#5 © 24 **	#4 <b>©</b> 24
4'-8"	4'-8"	-	3'-3"	12"	9"	#4 @ 48"	#5 @ 24"**	#4 Ø 24"
5 -4"	5'-4"		3'-6"	12"	9"	#4 9 48"	#5 @ 16"**	#4 @ 16°
			WALL	S REQUI	RING SPE	CIAL INSPECTION	ON	
6 -0°	3-4	2'-8"	3'-9"	12"	9"	#5 @ 48°	#5 @ 24"	#5 @ 24*
6"-8"	4 -0	2-8	4'-3"	12"	9"	#5 @ 48"	#5 @ 24"	#5 @ 24"
7'-4"	4'-8'	2 -8"	4 -6'	12"	9*	#5 @ 48"	#5 @ 24"	#5 <b>0</b> 24"
8'-0"	5'-4"	2'-8"	4'-9"	14"	9"	#5 @ 24"	#5 @ 8"	#5 @ 16"
8 -B"	60,	2'-8"	5'-3"	14"	9"	#5 <b>©</b> 8"	#5 @ 8"	#5 @ 16"
9-4	5°-0"	3-4*	5 -6"	14	9"	#6 @ 32"	#6 © 16"	#5 Ø 16"
10'-0"	6 -B"	3 4	5'-9"	16"	9"	#6 © 24"	#6 ₺ 16"	#6 @ 16"

 $<sup>{}^{\</sup>bullet}$  For this height wall the x bars way be eliminated by extending the Y bars to the top of the wall

<sup>\*\*</sup> WHEN "H2" DOES NOT EXIST LOCATE THE Y BARS IN THE SAME POSITION AS THE X BARS. EXTEND THE Y BARS INTO THE MASONRY WALL 2-0" MINIMUM FOR A #4 BAR 2-6 MINIMUM FOR A #5 BAR AND 3'-0" FOR A #5 BAR

			TYPE II D	IMENSIO	NS - 3:	1 SLOPING BAG	CKFILL	
Н	H1	H2	W	T	L	X BARS	Y BARS	Z BARS
			WALLS I	NOT REQ	UIRING S	SPECIAL INSPEC	TION	
2'-0"	2'-0"		2'-0"	12"	9″	#4 © 48"*	#4 @ 48***	#4 @ 24"
2'-8"	2'-8"	_	2'-3"	12"	9"	#4 @ 48"*	#4 @ 48***	#4 <b>©</b> 24"
3'-4"	3'-4"	-	2'-6"	12"	9"	#4 @ 48"*	#4 @ 48"**	#4 @ 24"
4 -0"	4'~0"		2'-9"	12"	9"	#4 @ 48"	#4 @ 24"**	#4 @ 24"
4 -8'	4 -8°	-	3 –6"	12*	9"	#4 <b>©</b> 48	#4 @ 24"**	#4 @ 24"
5'-4"	5'-4"	-	4'-6"	12*	9"	#4 @ 4B"	#4 @ 24"**	#4 Ø 15
			WALLS	S REQUIF	RING SPE	CIAL INSPECTION	ON	
6'-0"	3-4"	2 -8"	5 -3°	12"	9"	#4 ® 40	#4 @ 24"	#5 @ 24°
6'-8"	4'-0"	2'-8"	6 – 3"	12"	9"	#4 @ 24"	#4 60 16"	#5 @ 16"
7'-4"	4'-8°	2'-8"	7'-0"	12"	9"	#4 @ 16"	#5 @ 8"	#5 @ 8"
B-0"	5 -4	2'-8'	7 -6'	15"	9.	#4 @ 8"	#5 <b>6</b> 8"	#5 @ 8'
8'-8"	6'-0"	2-8	8'-3"	18"	9.	#5 <b>©</b> 8"	#5 Ф 8"	#5 @ 8"
9'-4"	6'-D"	3'-4"	9'-0"	18"	9"	#5 @ 8"	#6 @ 8	#5 <b>9</b> 8
10'-0"	6'-8"	4'-0"	9'-6"	21"	9"	#6 © 8°.	#6 @ 8"	#5 <b>9</b> 8"

 $<sup>{}^{\</sup>bullet}$  FOR THIS HEIGHT WALL THE X BARS MAY BE ELIMINATED BY EXTENDING THE Y BARS TO THE TOP OF THE WALL

RETAINING WALL & SCHEDULE

## RHODES HOMES ARIZONA, LLC GOLDEN VALLEY RANCH



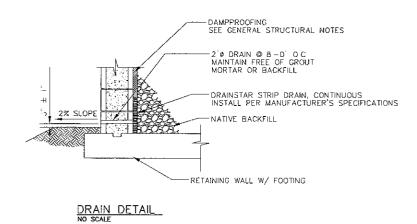
### Stanley Consultants INC.

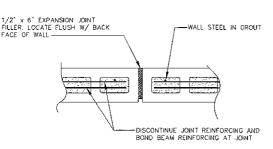
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FIGURE II-C-1

DATE: 20 DEC 2005

<sup>\*\*</sup> WHEN 'H2" DOES NOT EXIST LOCATE THE Y BARS IN THE SAME POSITION AS THE X BARS. EXTEND THE Y BARS INTO THE MASONRY WALL 2'-0" MINIMUM FOR A #4 BAR 2-6" MINIMUM FOR A #5 BAR AND 3'-0" FOR A #6 BAR





CONSTRUCTION JOINT DETAIL NO SCALE

#### GENERAL STRUCTURAL NOTES:

- REINFORCING STEEL SHALL CONFORM TO ASTM A615, GRADE 60
- CONCRETE SHALL HAVE MINIMUM STRENGTH OF 3500  $_{\rm PS}$  at 28 days using type v cement per astm c150. (Design based on  $f'c{=}2500$   $_{\rm PS}$  no special inspection required)
- MASONRY UNITS SHALL BE ASIM G90. GRADE N=1 HOLLOW CONCRETE UNITS. MASONRY DESIGN STRESS IS AS FOLLOWS: 8° CMU f m=1500 psi, 12° CMU f m=1900 psi, FULL STRESSES ARE USED WHERE SPECIAL INSPECTION IS SPECIAL INSPECTION SHALL BE PER THE 1997 UBC SECTION 1701
- MORTAR SHALL BE ASTM C270 TYPE  $^{\rm M}{\rm M}^{\prime}$  OR "S" WITH MINIMUM STRENGTH OF 1800 psi AT 28 DAYS USING TYPE V CEMENT PER ASTM C1500
- GROUT SHALL BE PER ASTM C476 WITH A MINIMUM STRENGTH OF 2000 psi AT 28 DAYS USING TYPE V CEMENT PER ASTM C-150
- HORIZONTAL JOINT REINFORCING SHALL BE 9-GA. LADDER TYPE PER UBC STD 21-10 WITH LAP SPLICES OF 12" MINIMUM INCLUDING CORNERS AND INTERSECTIONS
- UNLESS OTHERWISE NOTED. ALL CONSTRUCTION SHALL CONFORM TO THE UNIFORM BUILDING CODE, LATEST EDITION, AND PER STANDARD SPECIFICATIONS FOR THE CITY OF HENDERSON, NEVADA BUILDING DEPARTMENT
- ALL WALLS ARE SUBJECT TO APPROVAL BY THE CITY OF HENDERSON NEVADA BUILDING DEFARTMENT
- SOLID CROUT ALL MASONRY UNITS THAT ARE AT OR BELOW FINISH GRADE 9
- ALL CORNERS OR ANGLES SHALL BE TIED TOGETHER WITH REINFORCING STEEL AND GROUTED SOLID.
- WHERE VERTICAL GROUT POURS ARE NOT CONTINUOUS FOR THE ENTIRE HEIGHT OF THE WALL, TERMINATE LIFT 1  $1/2^{\circ}$  BELOW TOP OF TOP BLOCK TO FORM A KEY FOR FUTURE LIFTS
- LOCATE CONTROL JOINTS IN RETAINING WALL AT A MAXIMUM SPACING
- BOND BEAMS AND JOINT REINFORCING SHALL NOT BE CONTINUOUS THROUGH WALL CONSTRUCTION JOINTS

- WALLS SHALL BE STEFFED ONLY AS SHOWN ON THE PLANS
- IF ACTUAL HEIGHT OF WALL IS NOT LISTED IN TABLE USE STEEL AND DIMENSIONS FOR NEXT HIGHEST WALL LISTED
- DAMPPROOFING DAMPPROOFING SHALL BE AS FOLLOWS.
  - A. APPLY WATCHDOC WATERPROOFING MEMBRANE, AS MANUFACTURED BY KOCH MATERIALS COMPANY, OVER SOIL SIDE OF RETAINING WALL APPLICATION OF THE WATCHDOG WATERPROOFING MEMBRANE SHALL BE IN ACCORDANCE WITH THE MANUFACTURER'S PRINTED INSTRUCTIONS
  - B. INSTALL A 24-MIL DIMPLED HDPE MEMBRANE OVER KOCH WATCHDDG MEMBRANE. PROVIDE DELTA-MS AS MANUFACTURED BY COSELLA DORKEN APPLICATION OF THE DELTA-MS SYSTEM SHALL BE IN ACCORDANCE WITH THE MANUFACTURER'S PRINTED INSTRUCTIONS DETAILS AND MATERIALS.
- BACKFILL BEHIND WALLS SHALL BE COMPACTED TO 90% OF STANDARD PROCTOR DENSITY
- WHERE RETAINING WALLS ARE SHOWN ON PERIMETER STREETS. USE DECORATIVE BLOCK TO MATCH THOSE OF THE PERIMETER WALLS.
- SOILS REPORT FREPARED BY KLEINFELDER INC PROJECT No 21158 DATED OCT 03 2002

ALLOWABLE SOILS BEARING PRESSURE = 2500 psf FOR 12' WIDE FOOTING PLUS 800 psf FOR EACH ADDITIONAL FOOT OF WIDTH OF FOOTING 5000 psf MAXIMUM.

SOIL ACTIVE PRESSURE = 35 psf/ft (LEVEL)
SOIL PASSIVE PRESSURE = 300 psf/ft COEFFICIENT OF FRICTION = 0 40

### RHODES HOMES ARIZONA, LLC **GOLDEN VALLEY RANCH**

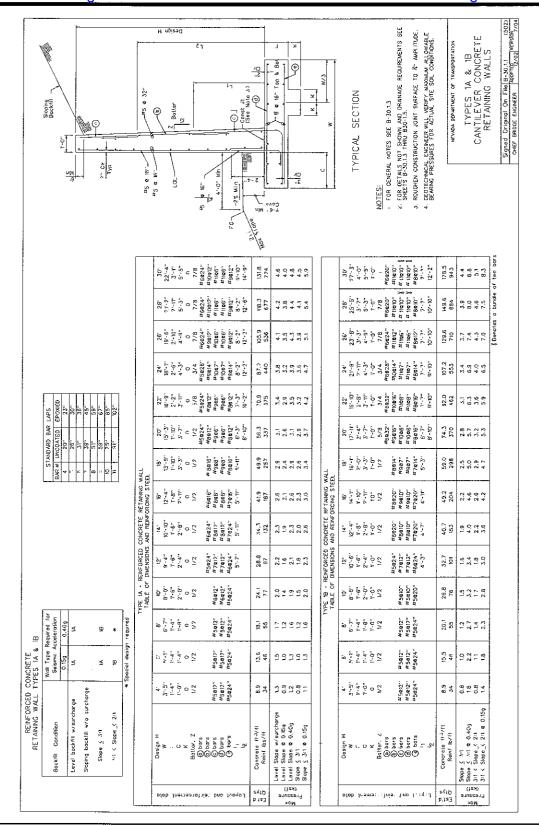


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LAS VEGAS NEVADA 89119 (702) 369-9396 Fax (702) 369-9793 SCALE: NOT TO SCALE

FIGURE II-C-2

DATE: 20 DEC 2005

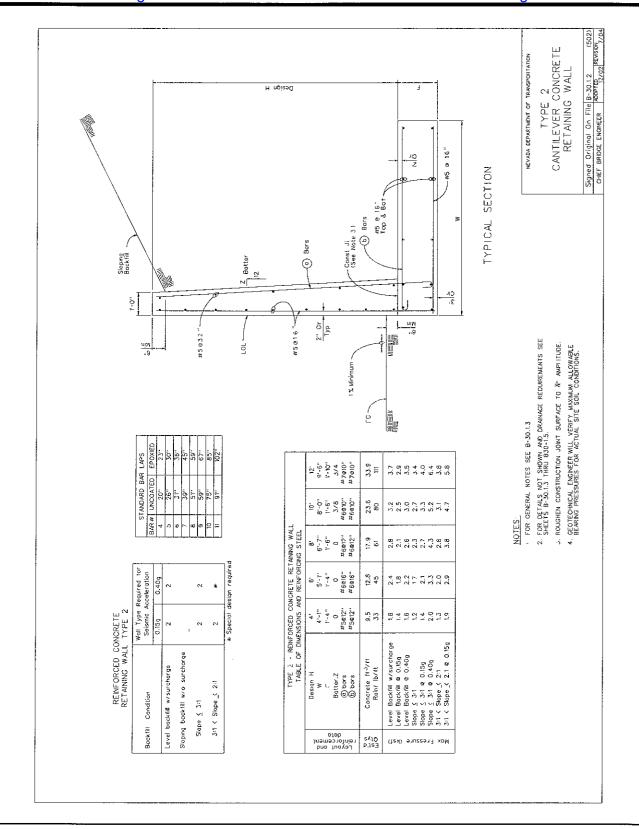




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LAS VEGAS. NEVADA 89119
(730) 750 0700 (702) 369-9396 Fax (702) 369-9793 SCALE: NOT TO SCALE

FIGURE II-D-1

DATE: 20 DEC 2005



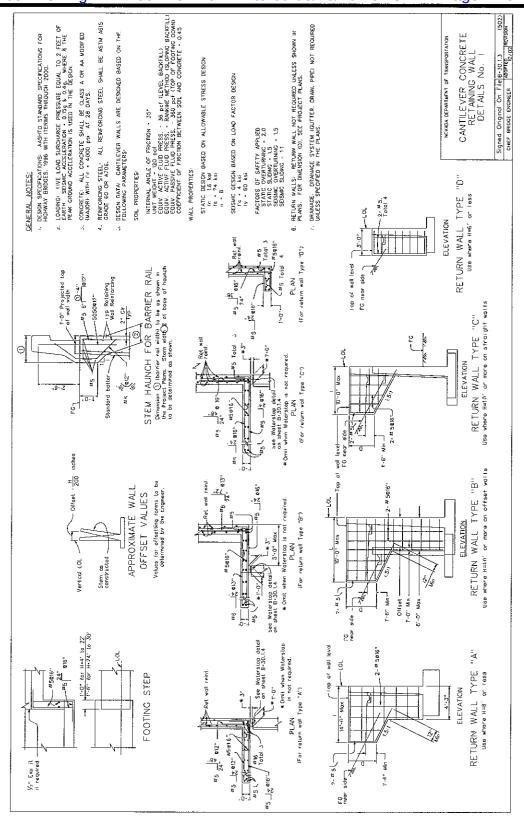


**Stanley Consultants INC.** 5820 S. EASTERN AVENUE, SUITE 200 LAS VEGAS NEVADA 89119 (702) 369-9793

SCALE: NOT TO SCALE

FIGURE II-D-2

20 DEC 2005 DATE:



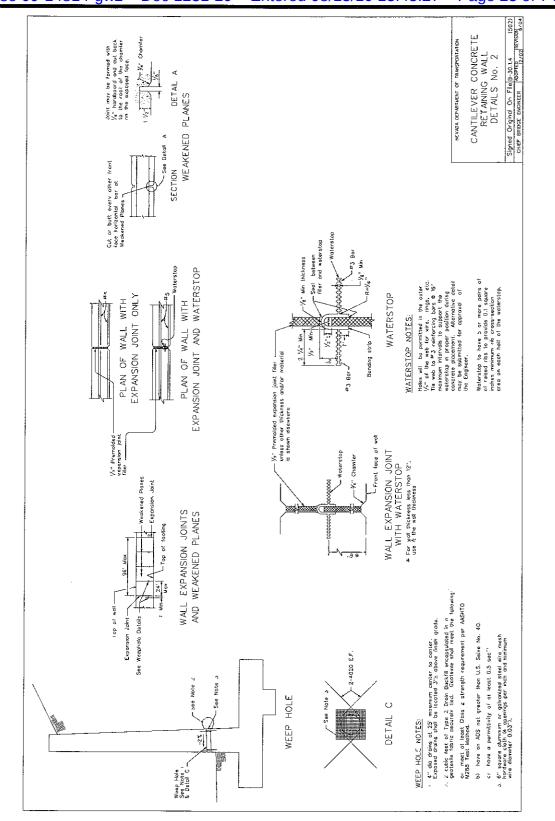


**Stanley Consultants INC.**5820 S. EASTERN AVENUE, SUITE 200
LAS VEGAS NEVADA 89119
(702) 369-9396 Fax (702) 369-9793

SCALE: NOT TO SCALE

FIGURE II-D-3

DATE: 20 DEC 2005



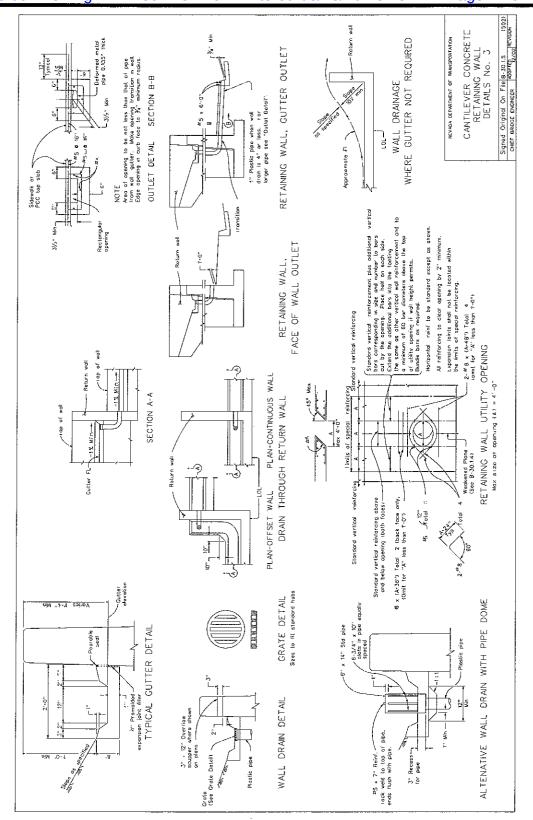


**Stanley Consultants INC.**5820 S. EASTERN AVENUE, SUITE 200
LAS VEGAS NEVADA 89119
(702) 369-9396 Fax (702) 369-9793

SCALE: NOT TO SCALE

FIGURE II-D-4

DATE: 20 DEC 2005



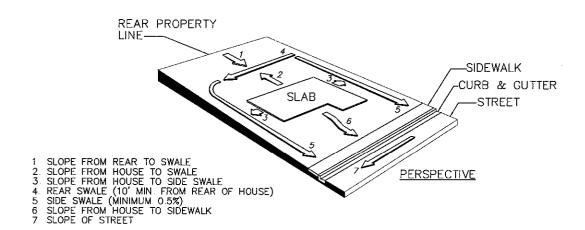


**Stanley Consultants INC.**5820 S. EASTERN AVENUE, SUITE 200
LAS VEGAS NEVADA 89119
(702) 369-9396 Fax (702) 369-9793

SCALE: NOT TO SCALE

FIGURE II-D-5

DATE: 20 DEC 2005



### TYPICAL LOT GRADING

### RHODES HOMES ARIZONA, LLC GOLDEN VALLEY RANCH

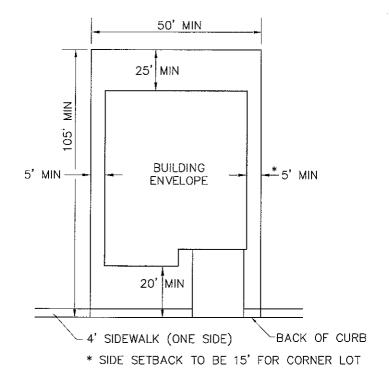


Stanley Consultants INC. 5820 S. EASTERN AVENUE, SUITE 200

5820 S. ĒASTERN AVENUE, SUITE 200 LAS VEGAS. NEVADA 89119 (702) 369—9396 Fax (702) 369—9793 SCALE: NOT TO SCALE

FIGURE III-A

DATE: 20 DEC 2005



### TYPICAL SETBACKS FOR ALL LOTS

NTS

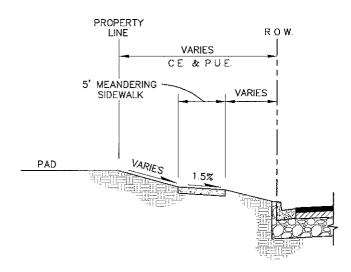
### RHODES HOMES ARIZONA, LLC **GOLDEN VALLEY RANCH**



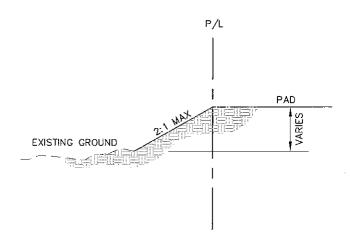
Stanley Consultants INC.
5820 S. EASTERN AVENUE, SUITE 200
LAS VEGAS NEVADA 89119 (702) 369-9396 Fax (702) 369-9793 SCALE: NOT TO SCALE

FIGURE III-B

DATE: 20 DEC 2005



## REAR YARD SECTION AT PERIMETER STREET N.T.S.



## REAR YARD SECTION AT PERIMETER BOUNDARY N.T.S

## RHODES HOMES ARIZONA, LLC GOLDEN VALLEY RANCH

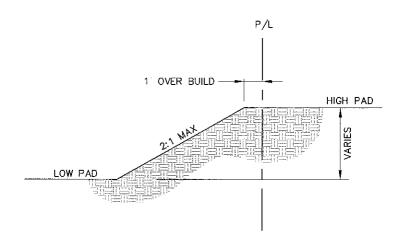


Stanley Consultants INC. 5820 S. EASTERN AVENUE, SUITE 200

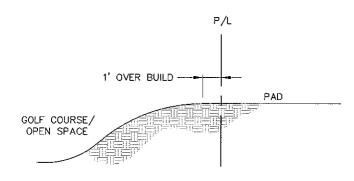
5820 S. ĒASTERN AVENUE, SUITE 200 LAS VEGAS. NEVADA 89119 (702) 369—9396 Fax (702) 369—9793 SCALE: NOT TO SCALE

FIGURE III-C

DATE: 20 DEC 2005



### REAR YARD SECTION WITH SCARP



REAR YARD SECTION AT GOLF COURSE / OPEN SPACE

## RHODES HOMES ARIZONA, LLC GOLDEN VALLEY RANCH

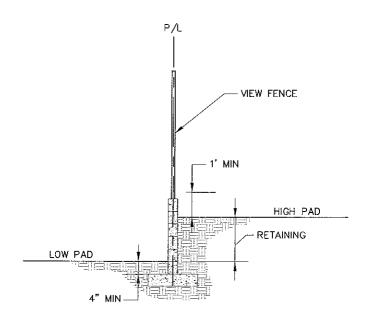


Stanley Consultants INC. 5820 S. EASTERN AVENUE, SUITE 200

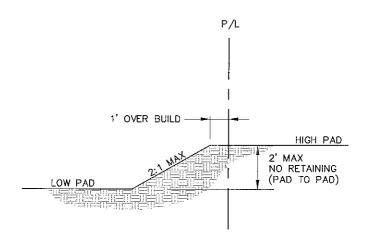
5820 S. EASTERN AVENUE, SUITE 200 LAS VEGAS NEVADA 89119 (702) 369—9396 Fax (702) 369—9793 SCALE: NOT TO SCALE

FIGURE III-D

DATE: 20 DEC 2005



### REAR / SIDE YARD SECTION WITH RETAINING N T S



### SIDE YARD SECTION - NO RETAINING

### RHODES HOMES ARIZONA, LLC GOLDEN VALLEY RANCH

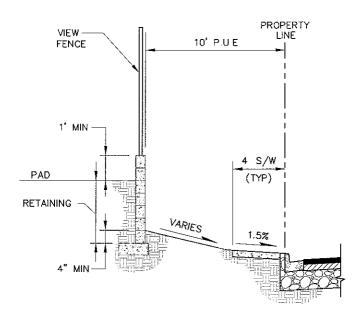


Stanley Consultants INC. 5820 S. EASTERN AVENUE, SUITE 200

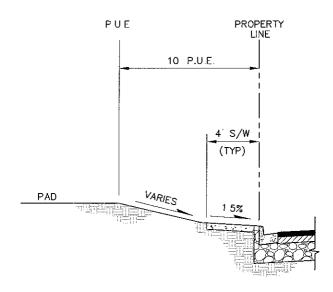
5820 S. ĒASTERN AVENUE, SUITE 200 LAS VEGAS NEVADA 89119 (702) 369—9396 Fax (702) 369—9793 SCALE: NOT TO SCALE

FIGURE III-E

DATE: 20 DEC 2005



## SIDE YARD CORNER LOT SECTION AT COLLECTOR WITH RETAINING



## SIDE YARD CORNER LOT SECTION AT COLLECTOR - NO RETAINING

## RHODES HOMES ARIZONA, LLC GOLDEN VALLEY RANCH

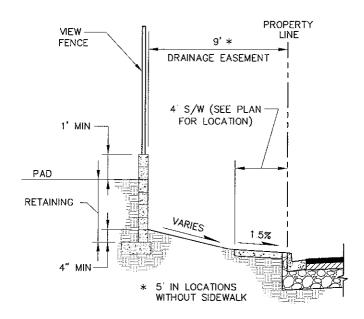


Stanley Consultants INC. 5820 S. EASTERN AVENUE, SUITE 200

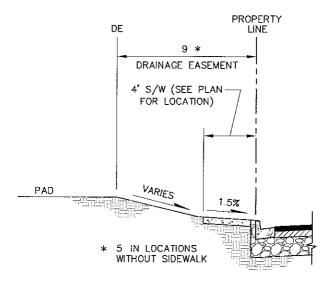
5820 S. EASTERN AVENUE, SUITE 200 LAS VEGAS. NEVADA 89119 (702) 369—9396 Fax (702) 369—9793 SCALE: NOT TO SCALE

FIGURE III-F

DATE: 20 DEC 2005



### SIDE YARD CORNER LOT SECTION WITH RETAINING



## SIDE YARD CORNER LOT SECTION NO RETAINING

## RHODES HOMES ARIZONA, LLC GOLDEN VALLEY RANCH

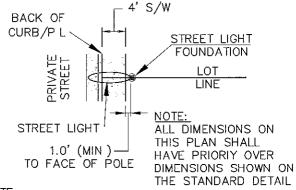


Stanley Consultants INC.
5820 S. EASTERN AVENUE, SUITE 200

5820 S. EASTERN AVENUE, SUITE 200 LAS VEGAS NEVADA 89119 (702) 369–9396 Fax (702) 369–9793 SCALE: NOT TO SCALE

FIGURE III-G

DATE: 20 DEC 2005



NOTE: IN LOCATIONS WHERE LIGHT POLE IS NOT ADJACENT TO A SIDEWALK, FACE OF POLE TO BE 3' FROM BACK OF CURB

### STREETLIGHT LOCATION N.T.S

## RHODES HOMES ARIZONA, LLC GOLDEN VALLEY RANCH

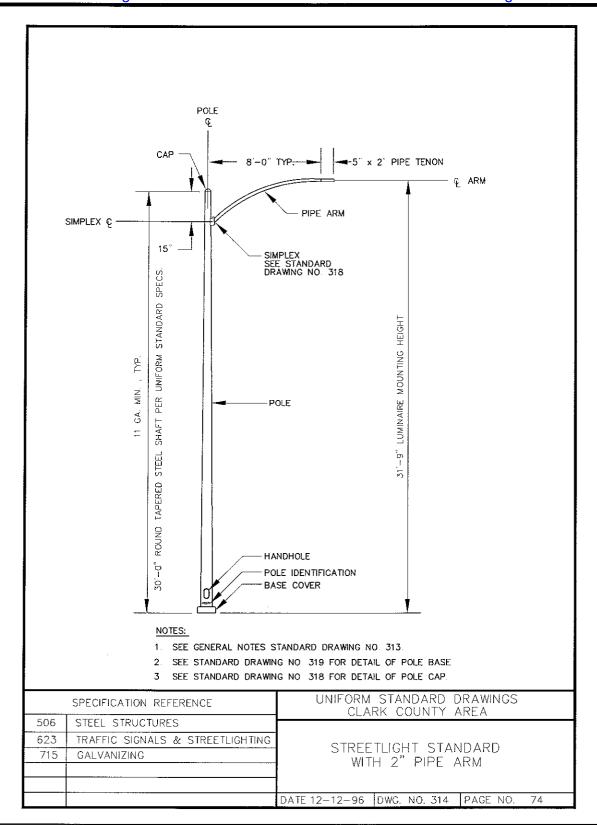


Stanley Consultants INC. 5820 S. EASTERN AVENUE, SUITE 200

5820 S. **E**ASTERN AVENUE, SUITE 200 LAS VEGAS NEVADA 89119 (702) 369-9396 Fax (702) 369-9793 SCALE: NOT TO SCALE

FIGURE IV-A

DATE: 20 DEC 2005



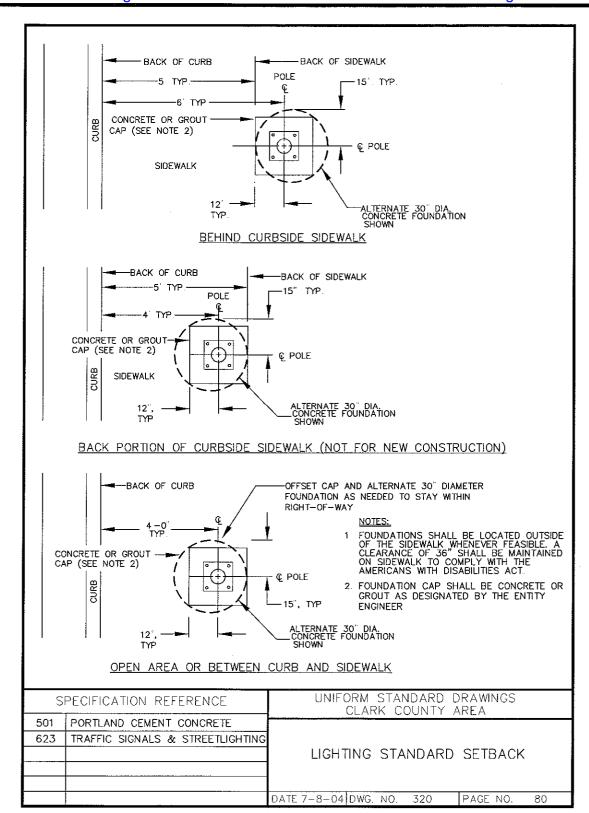


### Stanley Consultants INC. 5820 S. EASTERN AVENUE, SUITE 200

5820 S. EASTERN AVENUE, SUITE 200 LAS VEGAS NEVADA 89119 (702) 369—9396 Fax (702) 369—9793 SCALE: NOT TO SCALE

FIGURE IV-B

DATE: 20 DEC 2005



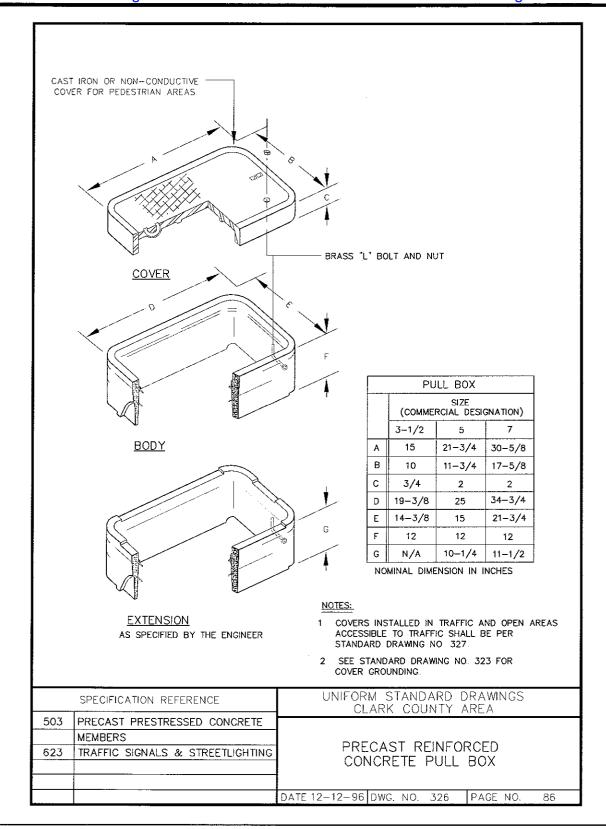


### Stanley Consultants INC.

5820 S. EASTERN AVENUE, SUITE 200 LAS VEGAS NEVADA 89119 (702) 369-9396 Fax (702) 369-9793 SCALE: NOT TO SCALE

FIGURE IV-C

DATE: 20 DEC 2005



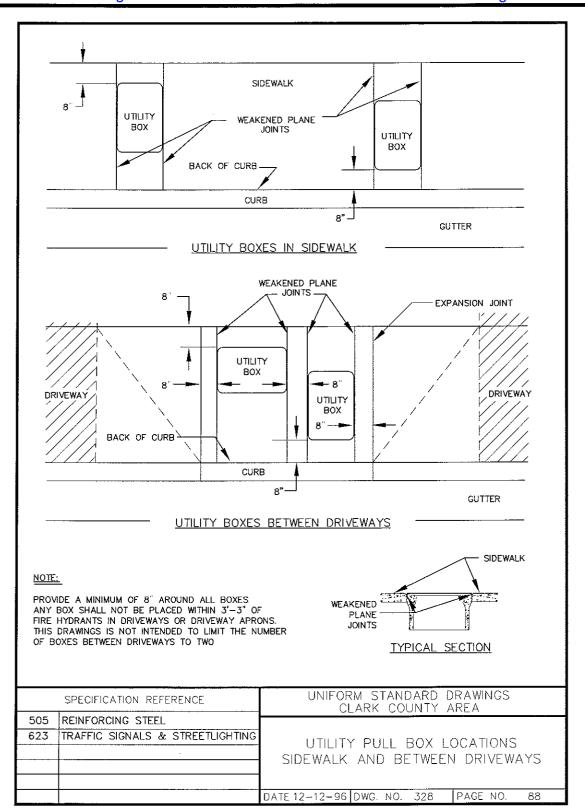


## Stanley Consultants INC. 5820 S. EASTERN AVENUE, SUITE 200

5820 S. EASTERN AVENUE, SUITE 200 LAS VEGAS NEVADA 89119 (702) 369-9396 Fax (702) 369-9793 SCALE: NOT TO SCALE

FIGURE IV-D

DATE: 20 DEC 2005



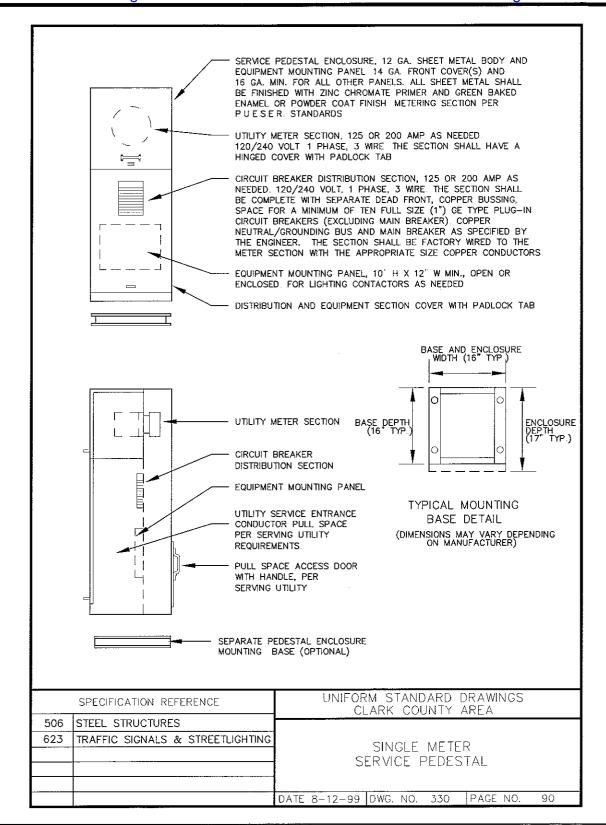


## Stanley Consultants INC. 5820 S. EASTERN AVENUE, SUITE 200

5820 S. ĒASTERN AVENUE, SUITE 200 LAS VEGAS NEVADA 89119 (702) 369—9396 Fax (702) 369—9793 SCALE: NOT TO SCALE

FIGURE IV-E

DATE: 20 DEC 2005



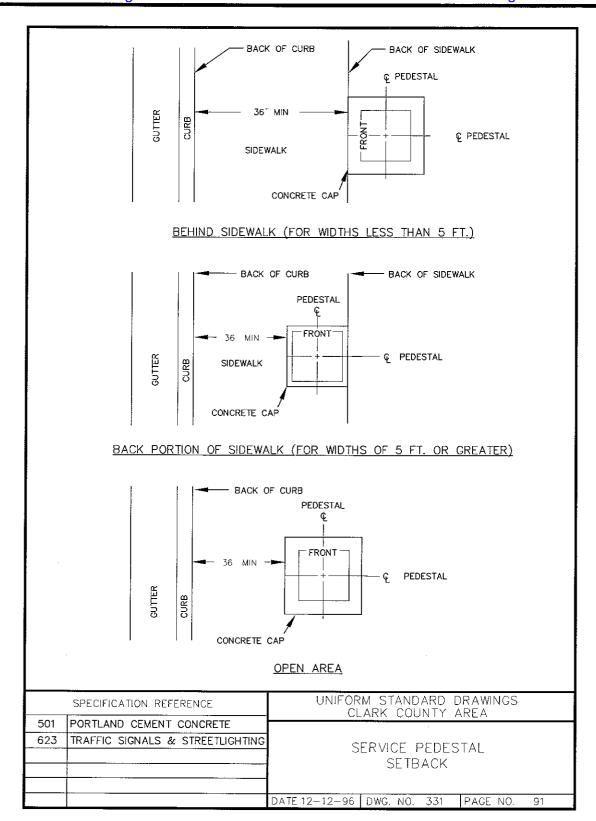


## Stanley Consultants INC.

5820 S. EASTERN AVENUE, SUITE 200 LAS VEGAS. NEVADA 89119 (702) 369-9396 Fax (702) 369-9793 SCALE: NOT TO SCALE

FIGURE IV-F

DATE: 20 DEC 2005



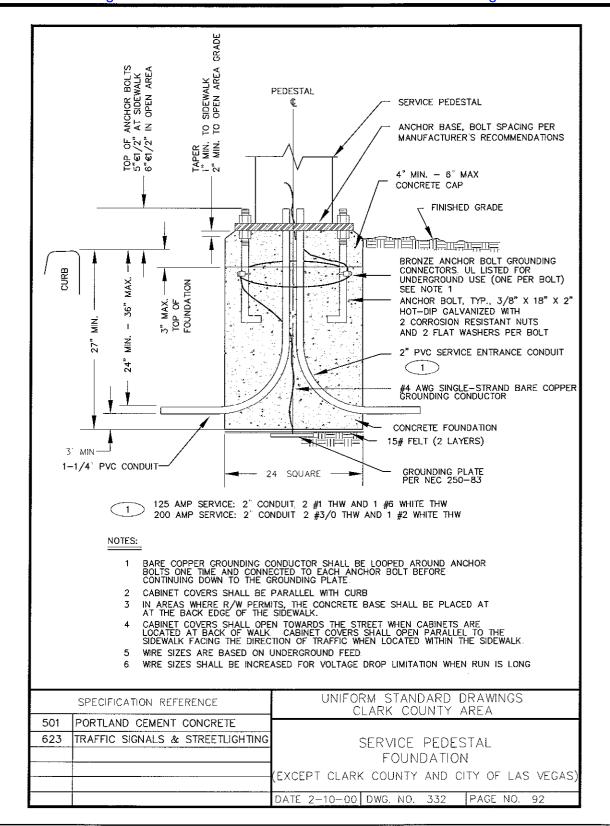


## Stanley Consultants INC. 5820 S. EASTERN AVENUE, SUITE 200

5820 S. EASTERN AVENUE, SUITE 200 LAS VEGAS NEVADA 89119 (702) 369-9396 Fax (702) 369-9793 SCALE: NOT TO SCALE

FIGURE IV-G

DATE: 20 DEC 2005



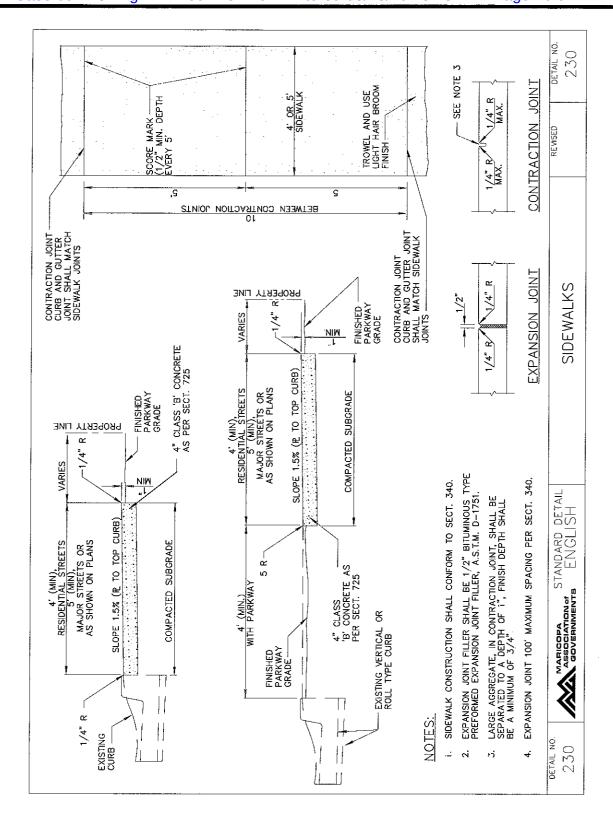


## Stanley Consultants INC.

5820 S. ĒASTERN AVENUE, SUITE 200 LAS VEGAS NEVADA 89119 (702) 369—9396 Fax (702) 369—9793 SCALE: NOT TO SCALE

FIGURE IV-H

DATE: 20 DEC 2005



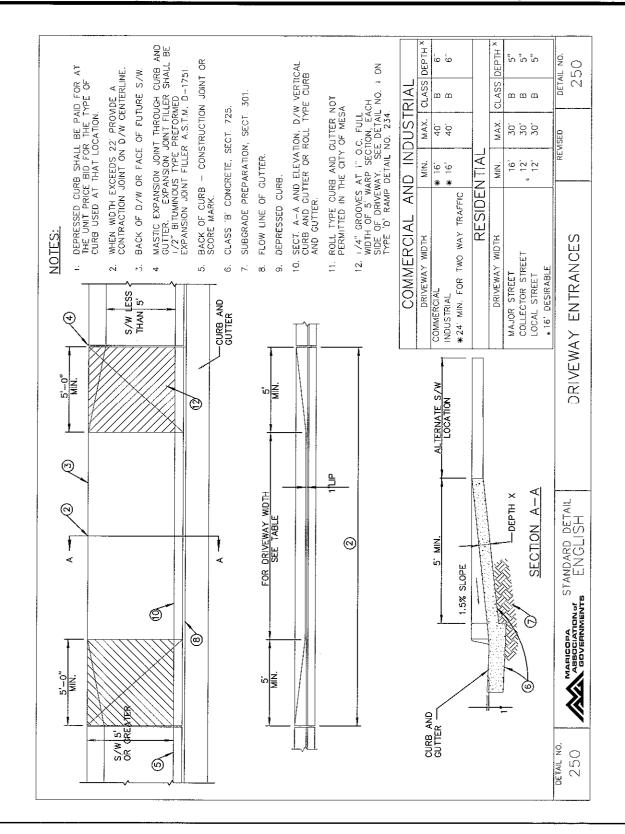


Stanley Consultants INC. 5820 S. EASTERN AVENUE, SUITE 200

5820 S. EASTERN AVENUE, SUITE 200 LAS VEGAS NEVADA 89119 (702) 369-9396 Fax (702) 369-9793 SCALE: NOT TO SCALE

FIGURE V-A-1

DATE: 20 DEC 2005



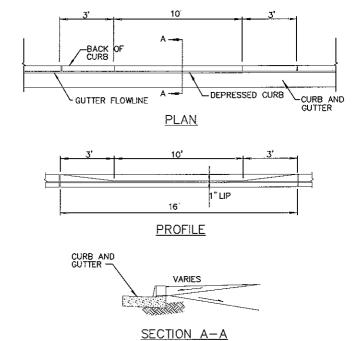


Stanley Consultants INC 5820 S. EASTERN AVENUE, SUITE 200 LAS VEGAS NEVADA 89119 (702) 369-9396 Fax (702) 369-9793

SCALE: NOT TO SCALE

FIGURE V-A-2

20 DEC 2005 DATE:



CURB CUT FOR DRAINAGE

NTS

## RHODES HOMES ARIZONA, LLC GOLDEN VALLEY RANCH

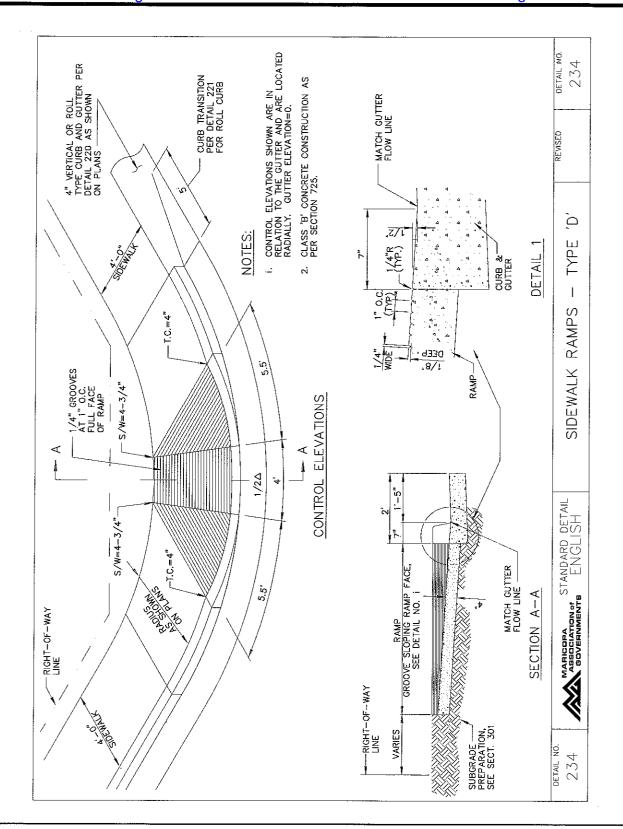


Stanley Consultants INC. 5820 S. EASTERN AVENUE, SUITE 200

5820 S. EASTERN AVENUE, SUITE 200 LAS VEGAS NEVADA 89119 (702) 369-9396 Fax (702) 369-9793 SCALE: NOT TO SCALE

FIGURE V-B

DATE: 20 DEC 2005



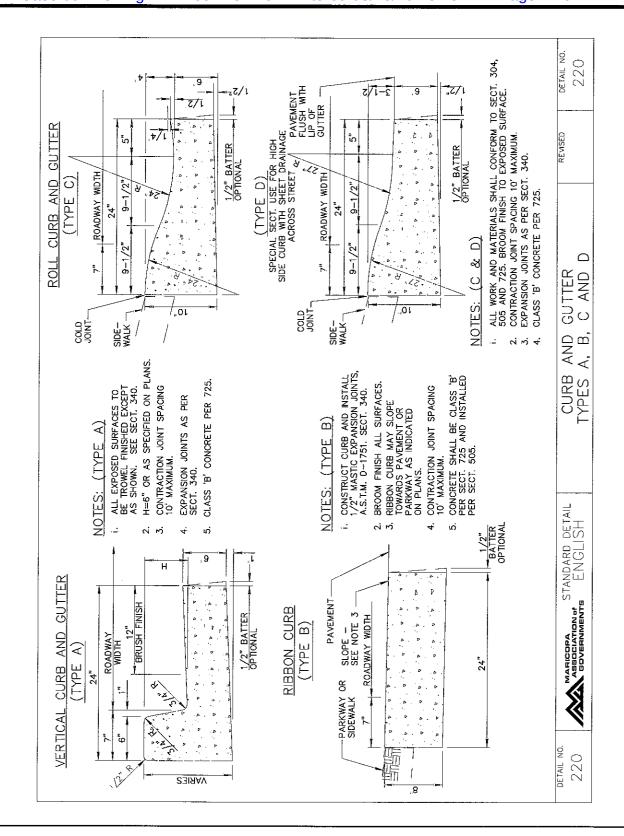


**Stanley Consultants INC.**5820 S. EASTERN AVENUE, SUITE 200
LAS VEGAS NEVADA 89119
(702) 369-9396 Fax (702) 369-9793

SCALE: NOT TO SCALE

FIGURE V-C

DATE: 20 DEC 2005



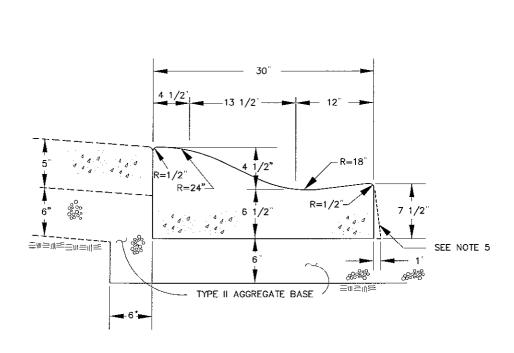


**Stanley Consultants INC..**5820 S. EASTERN AVENUE, SUITE 200
LAS VEGAS NEVADA 89119
(702) 369-9396 Fax (702) 369-9793

SCALE: NOT TO SCALE

FIGURE V-D-1

20 DEC 2005 DATE:



#### NOTES:

- 1. USE OF ROLL CURB MAY BE RESTRICTED BY SURFACE DRAINAGE CONSIDERATIONS.
- 2 SIDEWALK CONSTRUCTED CONTIGUOUS TO ROLL CURB SHALL BE 5 INCHES THICK (MIN)
- 3 WHERE LONGITUDINAL SLOPE IS LESS THAN 0.4% THE FLOW LINE SHALL BE WATER TESTED.
- 4 CONSTRUCT 1/2" EXPANSION JOINT AT ALL COLD JOINTS, AT BEGINNING AND END OF CURB RETURNS.
  AND AT 300 FT. MAX. INTERVALS FOR EXTRUDED CURB AND 30 FT MAX. INTERVALS FOR FORMED CURB.
  WEAKENED PLANE JOINTS SHALL BE FORMED AT THE REMAINING 15 FT INTERVALS. SEE STD. DWG.
  NO. 234 FOR JOINT DETAILS
- 5. ONE INCH BATTER AT CURB FACE IS OPTIONAL.
- 6 CITY OF LAS VEGAS COUNCIL APPROVAL REQUIRED FOR USE OF 30" ROLL CURB IN THE CITY OF LAS VEGAS.
- 7. IN NORTH LAS VEGAS, ROLL CURBS ARE PROHIBITED IN AREAS WHERE FLOW LINE GRADIENT IS LESS THAN 0.8% UNLESS OTHERWISE APPROVED BY CITY ENGINEER.
- 8 ALL UTILITY BOXES AND COVERS ADJACENT TO ROLL CURB SHALL BE HS-20 RATED "TRAFFIC BEARING" TYPE

	SPECIFICATION REFERENCE	UNI	FORM STANDARD D CLARK COUNTY A	
320	AGGREGATE BASE	CLARK COL	INTY LAS VEGAS ,	NORTH LAS VEGAS
501	CONCRETE	02711111 000	AND HENDERSON	
502	CONCRETE STRUCTURES		30" ROLL CL	IDD
707	JOINT MATERIAL		RESIDENTIAL .	
		DATE 11-10-04	DWG NO 217A	PAGE NO 23A

### RHODES HOMES ARIZONA, LLC GOLDEN VALLEY RANCH

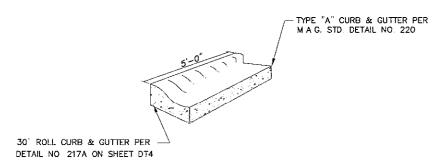


Stanley Consultants INC. 5820 S. EASTERN AVENUE, SUITE 200

5820 S. EASTERN AVENUE, SUITE 200 LAS VEGAS NEVADA 89119 (702) 369-9396 Fax (702) 369-9793 SCALE: NOT TO SCALE

FIGURE V-D-2

DATE: 20 DEC 2005



# TRANSITION FROM TYPE "A" CURB TO ROLL CURB AND GUTTER NTS

## RHODES HOMES ARIZONA, LLC GOLDEN VALLEY RANCH

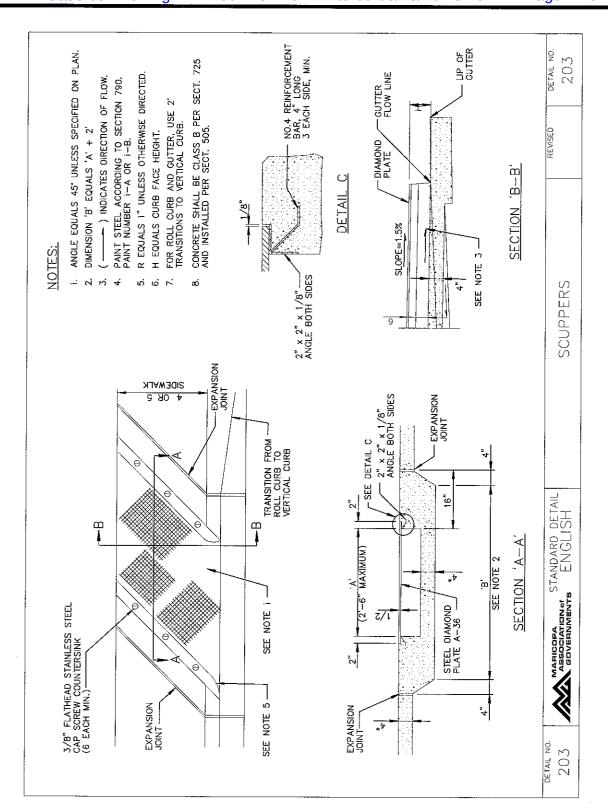


Stanley Consultants INC. 5820 S. EASTERN AVENUE, SUITE 200

5820 S. EASTERN AVENUE, SUITE 200 LAS VEGAS NEVADA 89119 (702) 369-9396 Fax (702) 369-9793 SCALE: NOT TO SCALE

FIGURE V-D-3

DATE: 20 DEC 2005



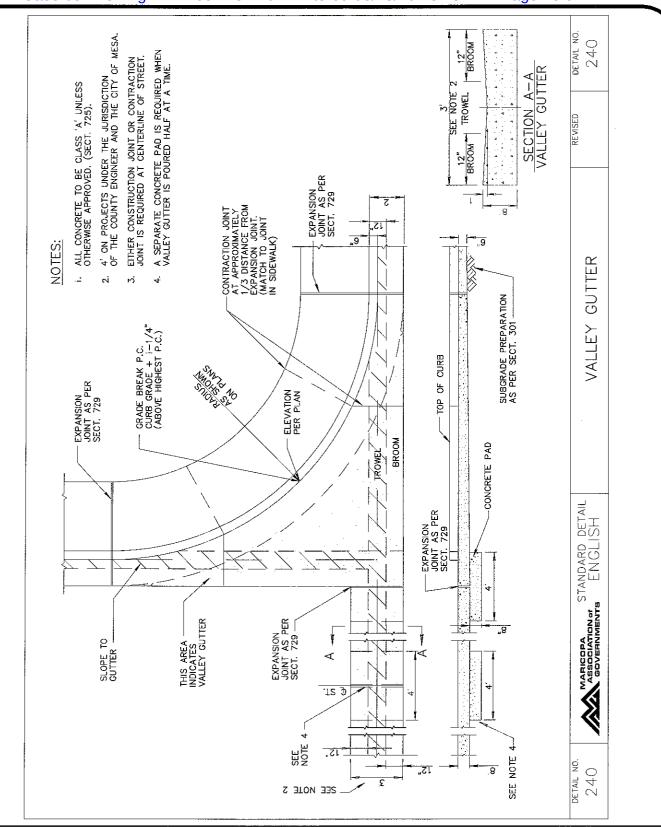


**Stanley Consultants INC.**5820 S. EASTERN AVENUE, SUITE 200
LAS VEGAS NEVADA 89119
(702) 369-9396 Fax (702) 369-9793

SCALE: NOT TO SCALE

FIGURE V-D-4

20 DEC 2005 DATE:

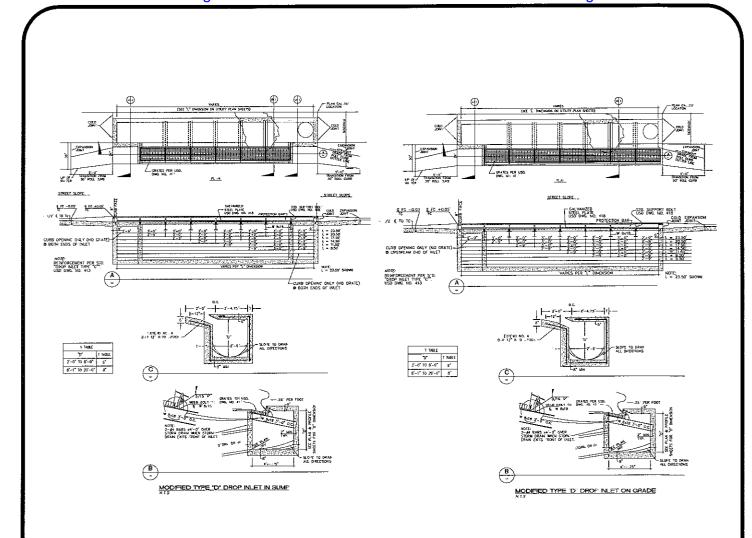




Stanley Consultants INC.
5820 S. EASTERN AVENUE, SUITE 200
LAS VEGAS NEVADA 89119 (702) 369-9396 Fax (702) 369-9793 SCALE: NOT TO SCALE

FIGURE VI

20 DEC 2005 DATE:



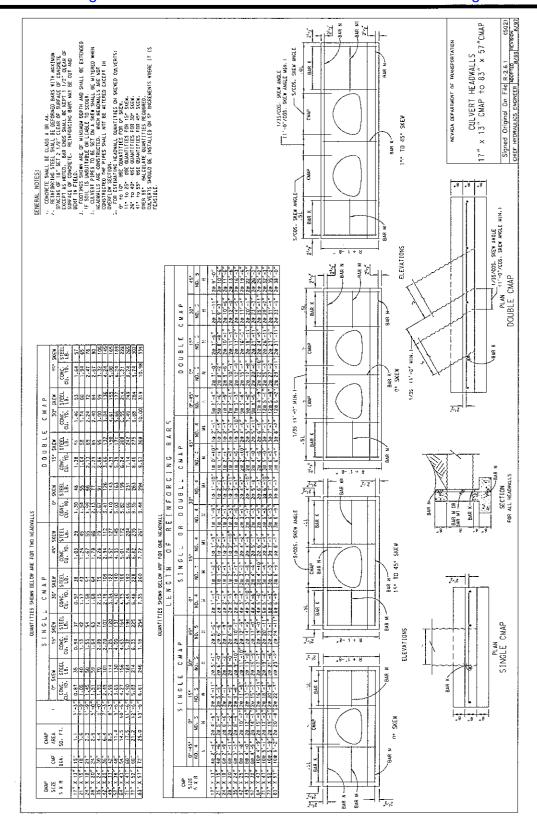


## Stanley Consultants INC. 5820 S. EASTERN AVENUE, SUITE 200

5820 S. ĒASTERN AVENUE, SUITE 200 LAS VEGAS NEVADA 89119 (702) 369-9396 Fax (702) 369-9793 SCALE: NOT TO SCALE

FIGURE VII-A

DATE: 20 DEC 2005

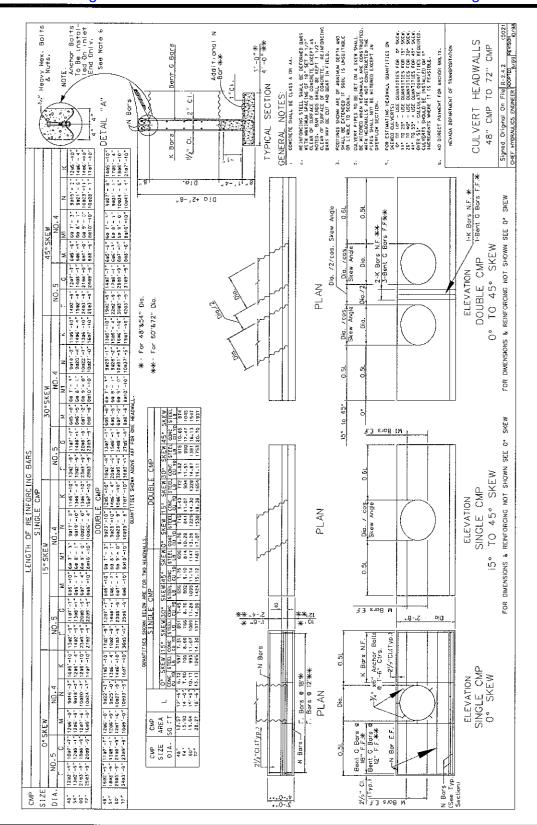




Stanley Consultants INC. 5820 S. EASTERN AVENUE, SUITE 200 LAS VEGAS NEVADA 89119 (702) 369-9396 Fax (702) 369-9793 SCALE: NOT TO SCALE

FIGURE VII-B

DATE: 20 DEC 2005





#### Stanley Consultants INC. 5820 S. EASTERN AVENUE, SUITE 200

5820 S. ĒASTERN AVENUE, SUITE 200 LAS VEGAS NEVADA 89119 (702) 369—9396 Fax (702) 369—9793 SCALE: NOT TO SCALE

FIGURE VII-C

DATE: 20 DEC 2005

3	S IN	SINGLE 15 - SKRIN. C 15 - SKRIN. C 16 - CONG. REENI. C 17 - CONG. B 644 1 18 - CONG. B 644 1 19 - CONG. B 644 1 10 - CO	SINGLE BCCCCCCCCCCCCCCCCCCCCCCCCCCCCCCCCCCCC	SINGLE BOX 15. 5. KEW 30. SEINF 1. 65 SEI	S   NGL E BOX   15° SKEW   20° SKEW   45° SKEW   20° SKEW   45°	STINCLE BOX   STILL	S   NGLE BOX	STINGLE BOX	STINCLE BOX	S   NCLE BOX   State		TH		CONC. RE	5.6	7,6	9,6	6.0	7.9	9.6	12.4	15.3 1	6.3	, ca	10.3	12.8 10	15.6	6.7	9.6	10.6	13.1 10	16.0	17.9	7.3	3,5	11.3	_	-	-		29.5 3.	10.0	12.0	14.5	-1	18.3 19	23.9 2	30.2 3
	S I N N N N N N N N N N N N N N N N N N	SINGLE  REINF.  644  REINF.  664  676  1106  1106  1106  1107  110	SINGLE BC SKEW 200 - 200 - 30	SINGLE BOX SKEW 476 7.2 653 64 476 7.2 653 74 72 7.2 653 74 106 15.5 156 2 504 10.0 897 1 106 15.5 156 2 107 10.4 839 1 108 10.2 10.4 839 1 109 10.8 812 1 109 10.8 820 1 109 10.8	SINGLE BOX  SKEW  SKEW  476 7.2 653 8.9  644 9.6 774 11.6  772 653 8.9  644 9.6 774 11.6  782 11.6 636 12.4  100 15.6 156 20.4  100 15.6 156 20.4  100 15.6 156 20.4  1010 15.6 10.0  1010 15.7 12.0  102 10.4 839 12.6  103 10.6 15.9  104 15.0 1038 11.7  105 16.3 15.0  107 17.6 10.0  108 10.1  109 16.3 15.0  109 16.3 15.0  109 16.4 10.0  1174 20.0 2870 14.1  2273 20.2 2781 11.4  118 21.0 1038 16.1  118 22.0 280 34.1  2482 31.1 11.4  2482 31.1 32.4 41.4  2598 36.6 4387 51.7  2482 31.1 32.4 41.4  2598 36.6 4387 51.7  2482 31.1 32.4 41.4  250 17.4 1788 23.5  1817 22.2 2416 20.4  2518 25.5 11.6  252 241 22.0  2518 25.0 2870 34.1  252 241 23.0  252 252 31.1  252 241 23.0  252 252 31.1  252 244 22.7  252 244 24.7  2	S INGLE BOX  SKEW  SKEW  GAS 20-SKEW  GAS 20	SINOLE BOX   SKEW   O'S KEW   O'S	SINGLE BOX  SKEW 30°-SKEW 45°-SKEW 0°-SKEW 15°-  REINF. CONC. REINF. REINF	SINGLE BOX  SKEIN. CONC. REINE. CONC. REINE. CONC. REINE.  SKEIN. CONC. REINE. CONC. REINE. CONC. REINE.  476 7.2 563 8.9 739 7.7 726 10.1 767  564 9.6 774 11.6 946 9.7 726 10.1 767  563 10.0 807 12.1 895 10.3 809 12.2 809  1100 15.5 1509 20.4 2156 14.9 1173 15.0 1310  1101 15.5 1509 20.4 2156 14.9 1173 15.0 1310  1102 10.4 839 12.6 10.2 820  1103 10.6 879 12.1 10.8 12.0 11.1 14.5 12.1 12.6  1103 10.6 15.5 1509 20.4 2156 14.9 1173 15.0 1310  1103 10.4 839 12.6 10.2 820  1104 10.5 15.0 15.0 13.9 11.1 14.5 12.1 12.6  1105 16.1 10.8 872 13.1 10.8 11.8 11.8 11.6 11.8 11.8 11.8 11.8 11	SINGLE BOX  SKEW 30°SKEW 45°SKEW 0°SKEW 15°SKEW 100°C REINF CONC.				REINF. CONC		_	705 10.2	418 6.3	Н	730 10.6	983 12.6	1400 16.C	442 7.1	_	756 10.9	1011 12.9	1432 16.3	467 7.5	693 9.1	782 11,3	1039 13.3		1904 20-2					寸		_	_i	804 10.5		1148 14,7		1945 21.8	2181 26.	3429 32.3
BOX	XKW REIN- CONC. REINF. CONC. REINF. CONC. REINF. 563 8-9 739 7.77 509 8-5 597 774 11.6 946 9.7 726 10.1 767 942 15.0 1238 11.7 262 10.1 767 942 15.0 1238 11.7 262 10.1 767 944 15.0 1238 11.7 262 10.1 767 955 20.4 2158 11.7 252 10.1 10.8 869 1505 20.4 2158 11.7 252 10.1 10.8 869 1506 9.9 10.0 10.3 817 13.0 10.0 1506 9.9 10.0 10.3 817 13.0 10.0 1506 15.9 13.9 10.3 817 13.0 10.0 1508 17.0 1319 1544 20.8 20.9 10.0 13.8 11.3 15.0 13.0 1548 12.6 10.5 11.8 10.4 14.5 12.6 1549 17.0 1319 1541 10.5 11.8 10.5 11.8 10.7 10.6 1541 11.4 942 11.2 13.8 11.1 12.2 12.7 155 11.4 942 11.2 13.8 13.8 13.6 13.8 1541 11.4 942 11.7 11.1 12.2 12.7 155 11.4 952 11.2 13.8 13.6 13.8 13.6 13.8 1541 11.4 952 11.2 13.8 13.1 13.0 13.8 155 11.4 14.5 14.1 15.2 14.4 16.1 13.7 155 11.4 952 12.7 2581 25.2 2935 1574 11.1 12.2 13.8 13.8 13.8 13.8 13.8 13.8 13.8 13.8	CDIC	CONC.   REIN.   CONC.   CONC	SKEW 15° SKEW 16° SKE	NEW 15° SKEW 508 9.5 SKEW 509 9.7 SKEW 509 9			10.00	EW 7700 C 1085 C				45° SKI	ONC. RE		_	╙	12.7	-	L	<u> </u>	_	-	_				L	L				L												_	_	<u> </u>	L
BOX	XX	45° SKEW O'SKEW 16° SKEW 30° SKEW 66° SKEW 16° S	OUNG   Cont.   OUNG   Oun	SKEW 15° SKEW 30° SKEW 46° SKEW 10° SKEW 10° SKEW 10° SKEW 46° SKEW 10° SKEW 46° SKEW 10° SKE	NEW   15° SKEW   15° SKEW   15° SKEW   15° SKEW   15° SKEW   15° SKEW   16°	D  E   D  X	DEC   DOX   DOX	BOX BOX MOS SKEW MOS SK	-   X =	-   X =			ж Ш	-	+	1119	1414	1062	1270	1566 1	2449						-	1268	1475 1	1773	2676 1	3637 2	4359 2	1734	1939	2239 1	3165 2	4137 2	4860 2		6703 3	2449	2849	3799 2	4782 2	5506 2	5042 3	
BOX  30 SKEW  45 SKEW  30 SKEW  45 SKEW  46 STA 11.6 SHE CONC. REINF. CONC. REINF. CONC. REINF.  50 STA 11.6 SHE STA 1.7 SHE STA 10.1 SHE STA 10.0 SHE STA 11.0 SHE STA 10.0	XKEN. 655.KEW 05.SKEW 155.SKEW 30.SKEW 45.SKEW 45.SKEW 16.5 10.1 10.1 10.1 10.1 10.1 10.1 10.1 10	15. CONTOUR LEAF CONC. REINF. 112.0 10.1 10.0 11.4 19.1 11.2 10.0 10.0 11.4 19.1 11.0 10.0 11.4 19.1 11.0 11.0 11.0 11.0 11.0 11.0 11.0	COMPANY   CONTROL   CONT	SKEW 15° CONC. COLO. COL	NEW   15   SEREW   30   SEREW   45   SEREW   15   SEREW   30   SEREW   45   SEREW	Dec   Do   Do   Do   Do   Do   Do   Do   D	DECE   BOX	BOX  BOX  BOX  BOX  BOX  BOX  BOX  BOX	SKEW 1414 1414 1662 1775	SKEW 1414 1414 1662 1775			O* SKEV																	<u>.</u>		ļ.,	ļ.,												_			
18-0 No. 1. 1. 1. 1. 1. 1. 1. 1. 1. 1. 1. 1. 1.	NET	15. CONCILLE, AND COUND COUNDS ON THE INTERIOR COUNC. REINF. CONC. REI	COMPANY   CONTROL   CONT	SKEW 15° SKEW 0.00 O.00 O.00 O.00 O.00 O.00 O.00 O.0	NOTE   COLUMN   COL	DECE   BOX	Fig.	BOX  BOX  BOX  BCDX  CREINF COUNT REINF CONC. RE  L3 1085 12.0 14.6 1119 11.8  L3 1085 12.0 14.6 1119 11.8  L3 1085 12.0 14.6 1179 11.8  L3 1085 12.0 14.5 12.6  L3 128 17.3 14.6 17.7 14.6  L4 170 23.7 24.9 17.7 14.6  L5 133 16.8 17.3 14.5 14.6  L6 133 16.8 17.3 17.0  L6 133 16.8 17.4 17.4 17.7 17.0  L6 133 16.8 17.8 17.8 17.8 17.8 17.8 17.8 17.8 17	SKEW 0° SK BEINIT CONC. R 910 1118 11.6 1144 13.9 1270 12.6 1266 19.6 1266 19.6 1373 17.0 2676 19.6 1379 24.5 1774 24.7 4860 26.8 4399 24.5 4399 24.5 4399 24.5 7344 33.5 7344 33.5 7344 33.5 7344 33.5	SKEW 0° SK BEINIT CONC. R 910 1118 11.6 1144 13.9 1270 12.6 1266 19.6 1266 19.6 1373 17.0 2676 19.6 1379 24.5 1774 24.7 4860 26.8 4399 24.5 4399 24.5 4399 24.5 7344 33.5 7344 33.5 7344 33.5 7344 33.5	-			-	+	_	_		↓	╄	₽	-		_			L	-	ļ	<u>_</u>	ļ	L.			_	_	L		<u> </u>					<u></u>	_			<u> </u>
December   Conc.   Mich.   C	XKENIEW GOVERNMENT CONFIGNATION OF THE NATION OF THE NATIO	CONTROLLE, AND CONTROLL OF THE INTOCATIVO CONTROLLE   CONTROLLE, AND CONTROLLE   CONTROL	CONC.   REINF.   CONC.   CONC.   REINF.   CONC.   REINF.   CONC.   REINF.   CONC.   REINF.   CONC.   REINF.   CONC.   REINF.   CONC.   CO	SKEW 15° SKEW 10° SKEW 00° SKEW 00° SKEW 10° SKE	NOTICE   CONTO   CON	Fig.	December   December	BOX BOX BOX BOX BOX BOX BOX BOX	SKEW 0. SKEW 1118 11.6 842 12 1118 11.6 842 12 12 12 12 12 12 12 12 12 12 12 12 12	SKEW 0. SKEW 1118 11.6 842 12 1118 11.6 842 12 12 12 12 12 12 12 12 12 12 12 12 12	2	TRIE	5°SKEW		1	L	Ľ	_	٠	ļ	↓_		_							_	_	_				L.							_		L	L	<u> </u>	ļ
BOX   REINF.   CONC.   REINF.   CONC.   REINF.   CONC.   REINF.   CONC.   REINF.   CONC.   REINF.   CONC.   CONC.   REINF.   CONC.   CONC.   REINF.   CONC.   CONC	Name	45 SKEW O'SKEW 15-SKEW 1000 BLE BOX 11.8 SKEW O'SKEW 15-SKEW 1	COMP.   REIM.   15° SKEW   15°	SKEW 15° SKEW 10° SKEW 00° SKEW 00° SKEW 10° SKE	NOTICE   CONTO   CON	Fig.	December   December	BOX BOX BOX BOX BOX BOX BOX BOX	SKEW 0. SKEW 1118 11.6 842 12 1118 11.6 842 12 12 12 12 12 12 12 12 12 12 12 12 12	SKEW 0. SKEW 1118 11.6 842 12 1118 11.6 842 12 12 12 12 12 12 12 12 12 12 12 12 12	711		30	3	+	14.4	t	╆	15.4	1.7.	+-									┢	┢	28.0	7.18			22.9	H	30.7			-			28,7	33.1	36.8	-	-
DOUGLE   Color   Col	NEW   46 5 5 KeW   0 5 KeW   15 5 KeW   15 5 KeW   46	Accordance   Control   C	CONC.   REINH.   CONC	SKEW 15° SKEW 130° SKEW 45° SKEW 16° III III III I 12.2 130° SKEW 17° 1000 11.0 11.0 11.0 11.0 11.0 11.0 11.	NOUBLE BOX	Dec	Name	BOX  BOX  BOX  BOX  BOS SKEW  BOS	SKEW 0° SKEW 15° SKEW 16° SKEW	SKEW 0° SKEW 15° SKEW 16° SKEW	)	ΧO	" SKEW			1045	1220		1243	1417	1951								1558		-	2946	3381			2274	2666	3519	4057		5598			3576	4261	4830	1615	6353
12. SEET 11.	NEW	Color   Colo	O'SKEW   15° SKEW	SKEW 15° SKEW 100 LE BOX  SKEW 15° SKEW 100 LE BOX  SKEW 15° SKEW 100 LE BOX  SKEW 15° SKEW 100 LL.8 1910	NEW   15° SKEW   30° SKEW   45° SKEW   15° SKEW   15° SKEW   15° SKEW   30°	December   Color   C	Dec   Dec	BOX  BOX  BOX  BOX  BOX  BOX  BOX  BOX	SKEW O'S KEIN'. CONC. REIN'S.	SKEW O'S KEIN'. CONC. REIN'S.			45	-	-	17.6	21.0		18.8	22.1	27.1								21.4	25.0	29.9	36.1	43.9			28.5	33.6	39.8	45.6		63.5		L	36.5	42.8	48.6	56.1	66.5
No.	NEW	1.   1.   1.   1.   1.   1.   1.   1.	CONC.   REIMS   CONC.   CONC.   CONC.   REIMS   CONC.   REIM	SEEM   15   SEEM   SEEM   SEEM   O   SEEM	Fig. 16   15   15   15   15   15   15   15	Fig.	Fig.	BOX  BOX  BOX  BOX  BOS SKEW  BOS	SKEW  BEINF. CONC. REINF. CONC.	SKEW  BEINF. CONC. REINF. CONC.			SKEW	REINF		1280	1578		1525	1823	2708								1858	2159	3065	4029	4753			2857	3786	4761	5486		7335			4733	5719	6446	6984	9289



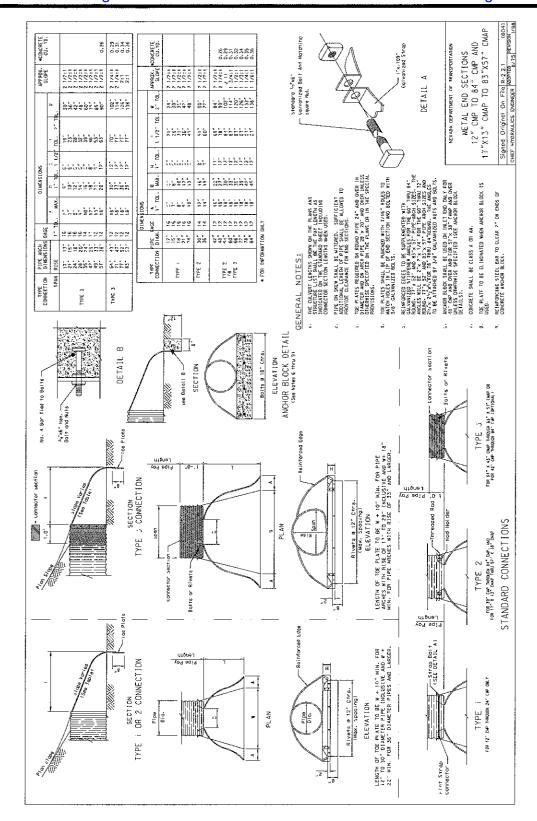
Stanley Consultants INC.
5820 S. EASTERN AVENUE, SUITE 200
LAS VEGAS NEVADA 89119 (702) 369-9396 Fax (702) 369-9793 SCALE: NOT TO SCALE

FIGURE VII-D

DATE: 20 DEC 2005

REV:

OF QUANTITIES HEADWALLS

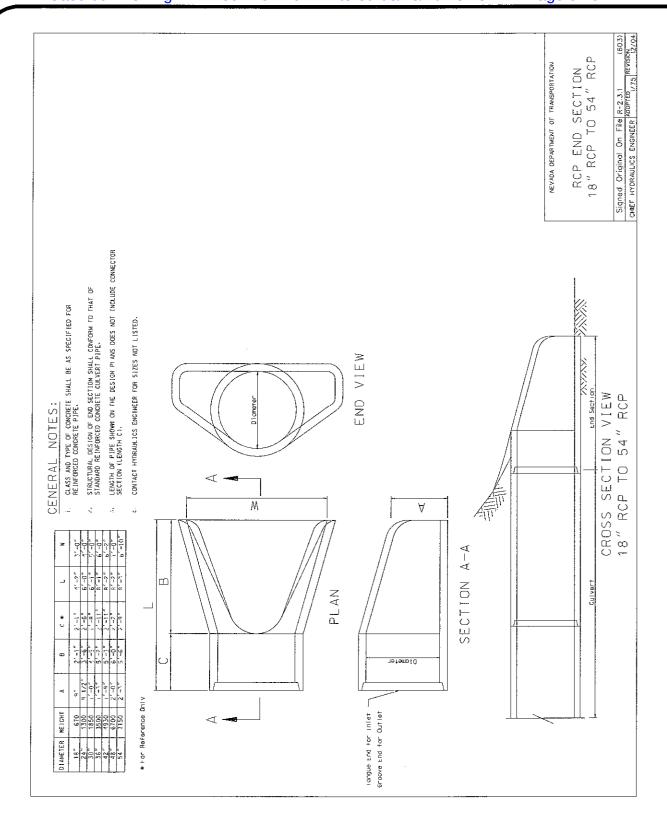




**Stanley Consultants INC.** 5820 S. EASTERN AVENUE, SUITE 200 LAS VEGAS. NEVADA 89119 (702) 369-9396 Fax (702) 369-9793 SCALE: NOT TO SCALE

FIGURE VII-E

DATE: 20 DEC 2005



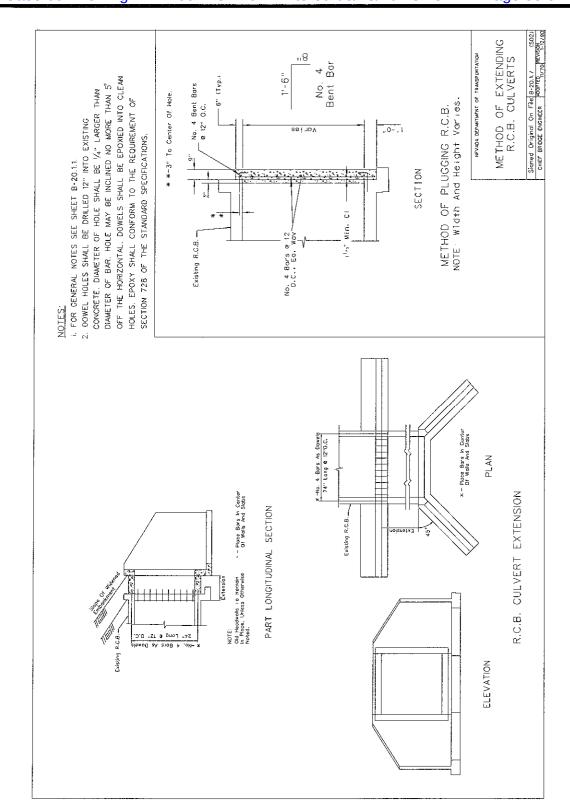


## Stanley Consultants INC. 5820 S. EASTERN AVENUE, SUITE 200

5820 S. EASTERN AVENUE, SUITE 200 LAS VEGAS NEVADA 89119 (702) 369-9396 Fax (702) 369-9793 SCALE: NOT TO SCALE

FIGURE VII-F

DATE: 20 DEC 2005



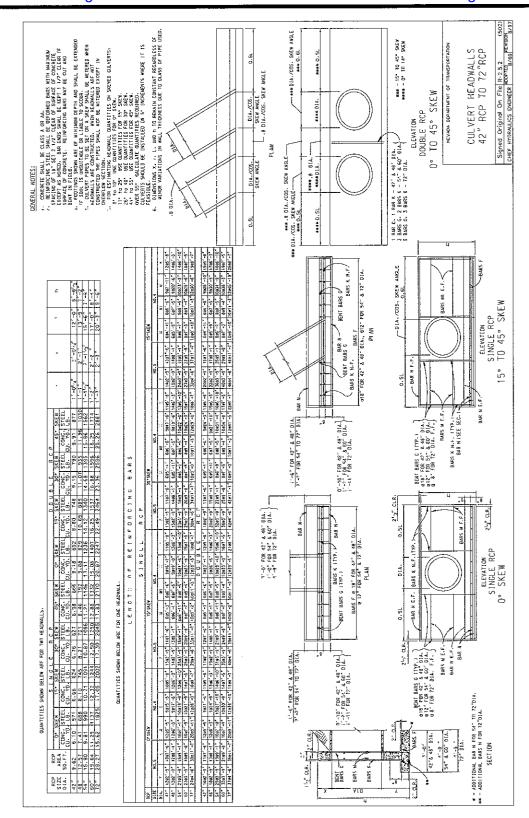


Stanley Consultants INC 5820 S. EASTERN AVENUE, SUITE 200 LAS VEGAS NEVADA 89119 (702) 369-9396 Fax (702) 369-9793

SCALE: NOT TO SCALE

FIGURE VII-G

DATE: 20 DEC 2005



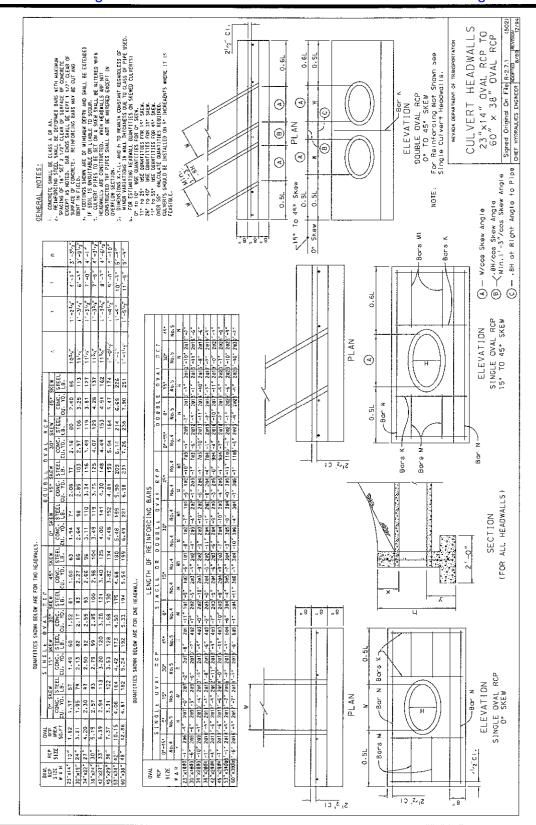


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FIGURE VII-H

DATE: 20 DEC 2005



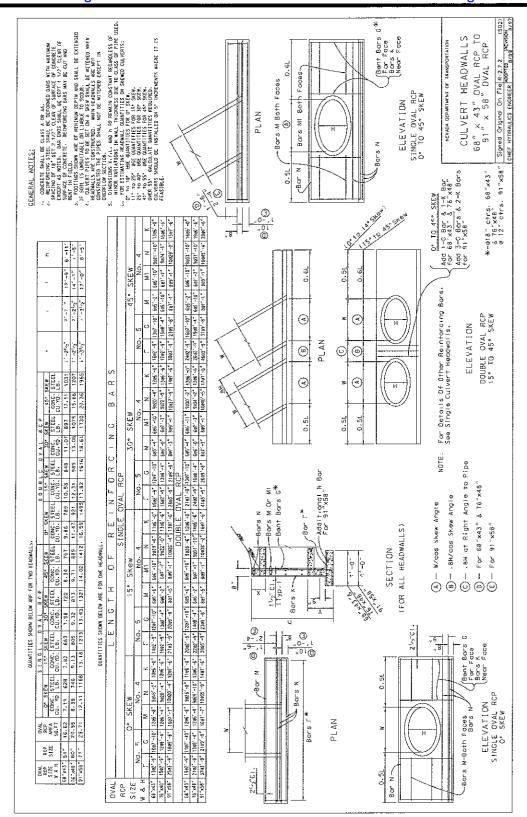


## Stanley Consultants INC. 5820 S. EASTERN AVENUE, SUITE 200

5820 S. EASTERN AVENUE, SUITE 200 LAS VEGAS NEVADA 89119 (702) 369-9396 Fox (702) 369-9793 SCALE: NOT TO SCALE

FIGURE VII-I

DATE: 20 DEC 2005



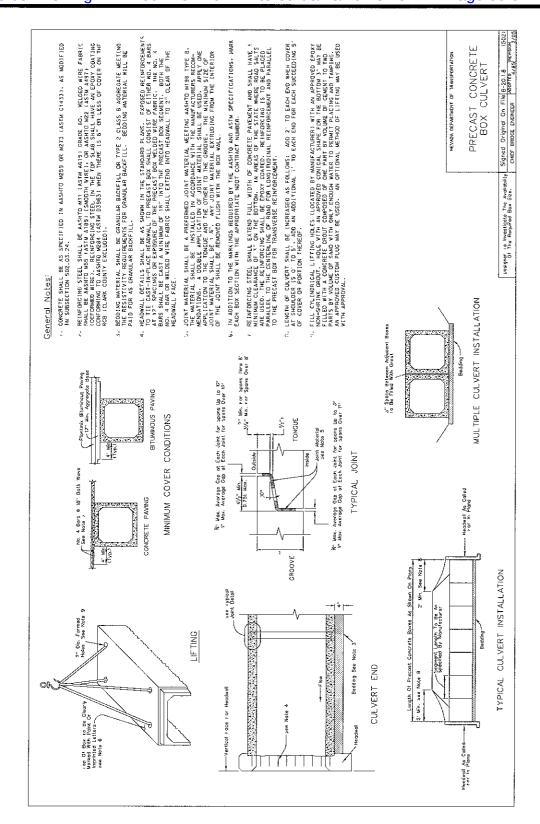


Stanley Consultants INC. 5820 S. EASTERN AVENUE, SUITE 200

5820 S. ÉASTERN AVENUE, SUITE 200 LAS VEGAS NEVADA 89119 (702) 369-9396 Fax (702) 369-9793 SCALE: NOT TO SCALE

FIGURE VII-J

DATE: 20 DEC 2005

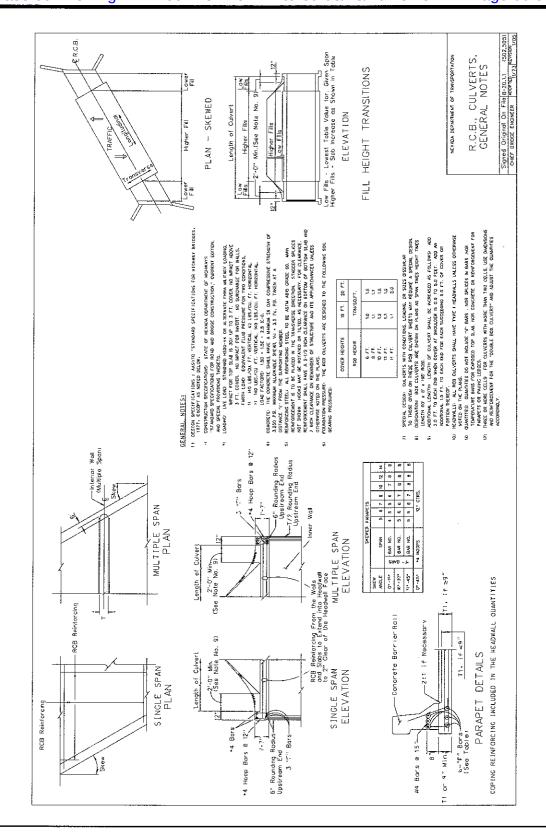




Stanley Consultants INC.
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LAS VEGAS NEVADA 89119 (702) 369-9396 Fax (702) 369-9793 SCALE: NOT TO SCALE

FIGURE VII-K

20 DEC 2005 DATE:

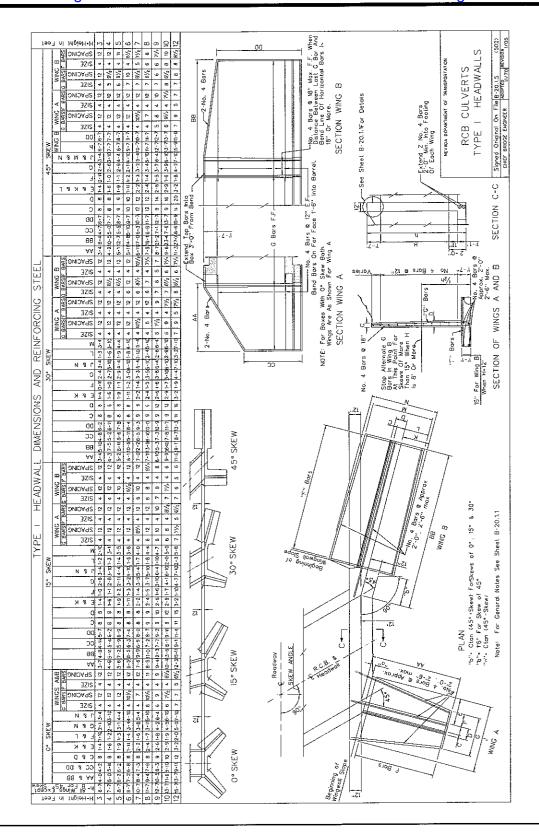




Stanley Consultants INC.
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LAS VEGAS NEVADA 89119 (702) 369-9396 Fax (702) 369-9793 SCALE: NOT TO SCALE

FIGURE VII-L

20 DEC 2005 DATE:



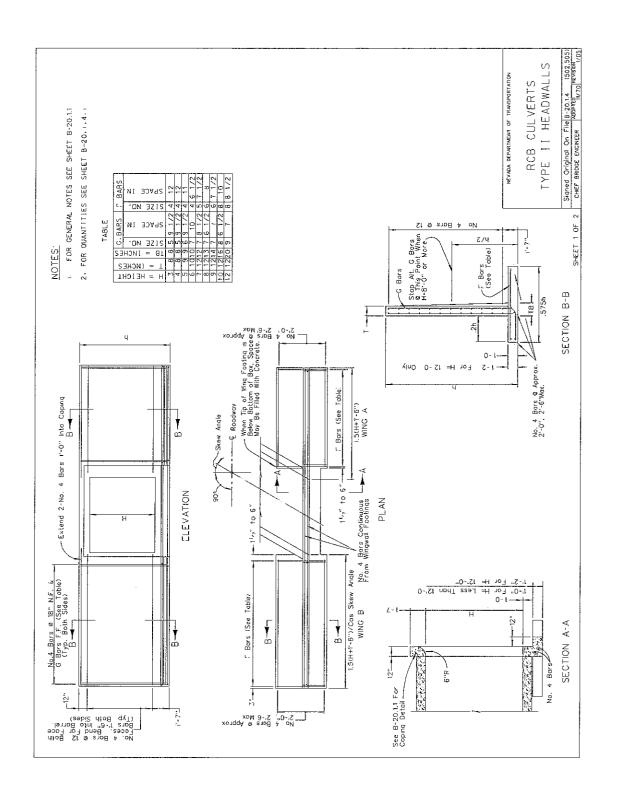


Stanley Consultants INC. 5820 S EASTERN AVENUE, SUITE 200

5820 S EASTERN AVENUE, SUITE 200 LAS VEGAS NEVADA 89119 (702) 369-9396 Fax (702) 369-9793 SCALE: NOT TO SCALE

FIGURE VII-M

DATE: 20 DEC 2005

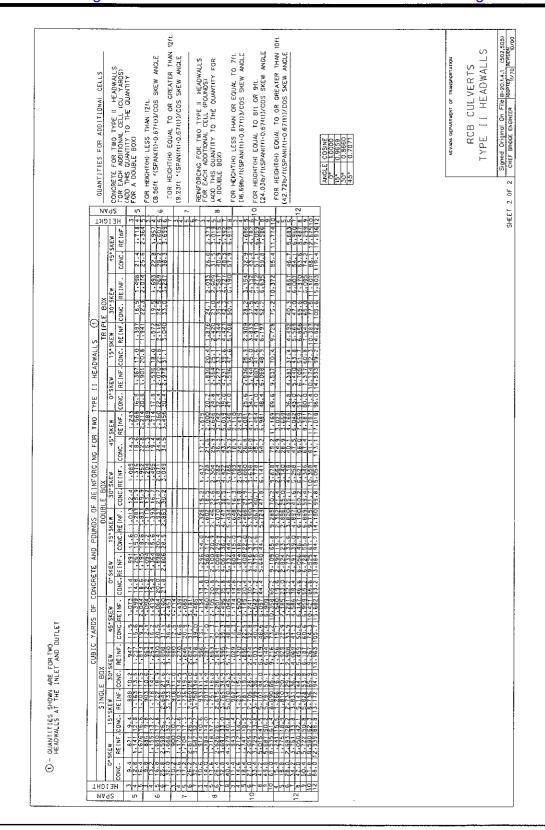




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FIGURE VII-N

DATE: 20 DEC 2005

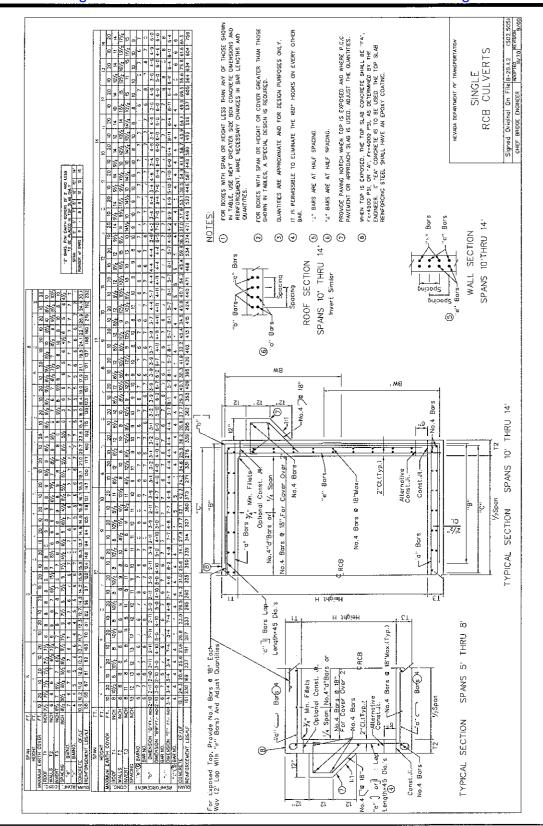




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FIGURE VII-O

DATE: 20 DEC 2005



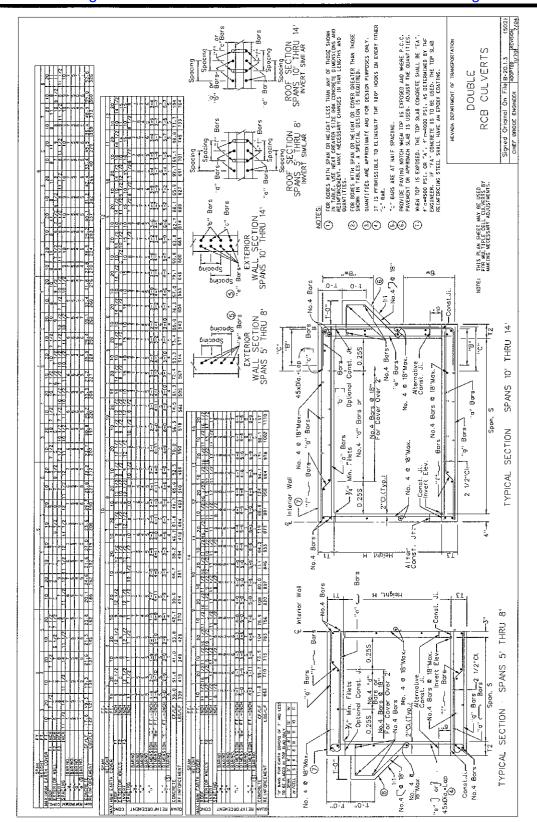


#### Stanley Consultants INC. 5820 S. EASTERN AVENUE, SUITE 200

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FIGURE VII-P

DATE: 20 DEC 2005



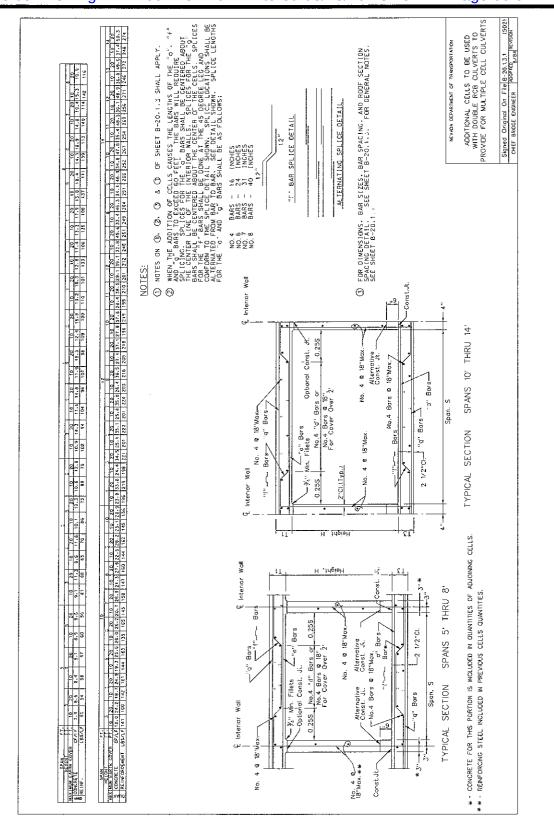


## **Stanley Consultants INC.** 5820 S. EASTERN AVENUE, SUITE 200

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FIGURE VII-Q

DATE: 20 DEC 2005

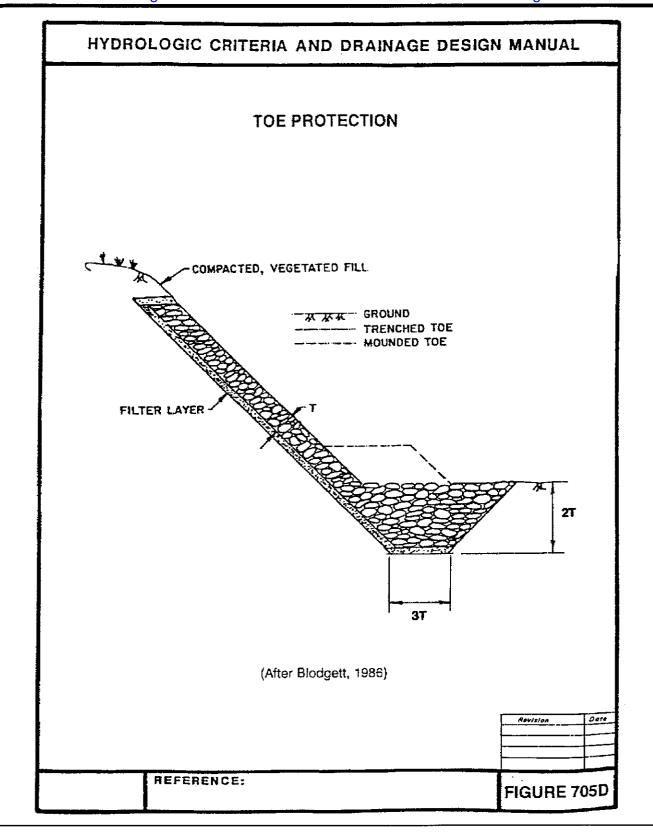




Stanley Consultants INC. 5820 S. EASTERN AVENUE, SUITE 200 LAS VEGAS NEVADA 89119 (702) 369-9396 Fax (702) 369-9793 SCALE: NOT TO SCALE

FIGURE VII-R

20 DEC 2005 DATE:





## Stanley Consultants INC 5820 S. EASTERN AVENUE, SUITE 200

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FIGURE VII-S

DATE: 20 DEC 2005

## HYDROLOGIC CRITERIA AND DRAINAGE DESIGN MANUAL Riprap thickness on channel side siopes equal to 0.75A Downstream Channel CONDUIT OUTLET EROSION PROTECTION End slope at 1:i **Granular** Bedding Extend riprap to height of cuivert or one foot above normal channel depth, whichever is larger feet for riprap, 3 feet for heavy riprap PLAN PROFILE 4:1 or flatter 1 тах ітип preferred Concrete cradle/cut off, or standard headwall N u حر NOTE: or D. Revision Dota REFERENCE: WRC FIGURE 711 USDCM, DRCOG, March 1969 (with modifications) ENGINEERING

## RHODES HOMES ARIZONA, LLC GOLDEN VALLEY RANCH

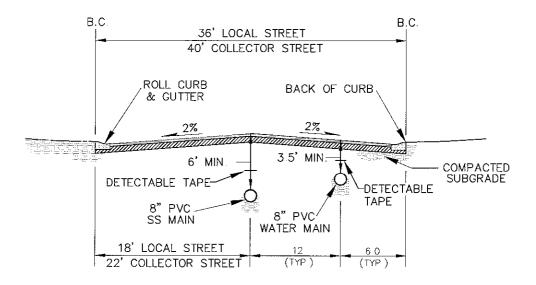


Stanley Consultants INC. 5820 S. EASTERN AVENUE, SUITE 200

5820 S. ÉASTERN AVENUE, SUITE 200 LAS VEGAS NEVADA 89119 (702) 369-9396 Fax (702) 369-9793 SCALE: NOT TO SCALE

FIGURE VII-T

DATE: 20 DEC 2005



#### TYPICAL WATER AND SS MAIN LINE SECTION

N.T.S. NOTE:

INSTALL M.A.G. STANDARD DETECTABLE LOCATOR TAPE OR PLASTIC COATED (BLUE FOR WATER AND GREEN FOR SEWER) #8 WIRE FOR ALL WATER AND SEWER LINES

### RHODES HOMES ARIZONA, LLC GOLDEN VALLEY RANCH

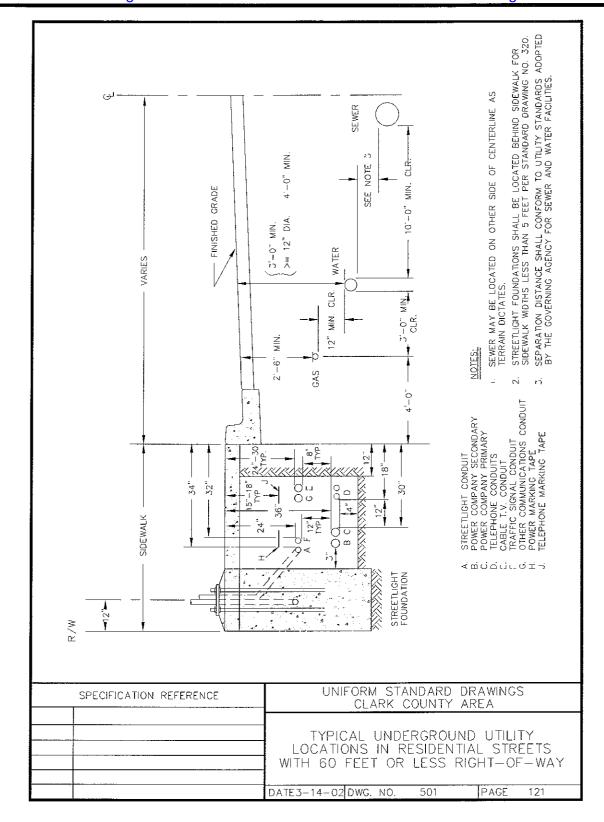


Stanley Consultants INC. 5820 S. EASTERN AVENUE, SUITE 200

5820 S. EASTERN AVENUE, SUITE 200 LAS VEGAS NEVADA 89119 (702) 369-9396 Fax (702) 369-9793 SCALE: NOT TO SCALE

FIGURE VIII-A-1

DATE: 20 DEC 2005

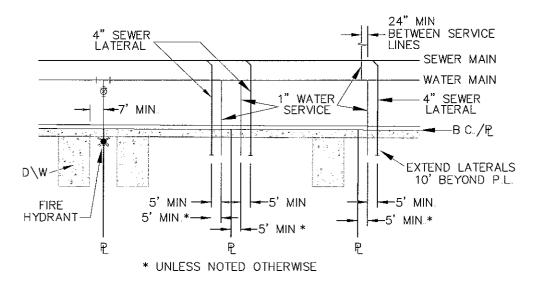




Stanley Consultants INC. 5820 S. EASTERN AVENUE, SUITE 200 LAS VEGAS NEVADA 89119 (702) 369-9396 Fax (702) 369-9793 SCALE: NOT TO SCALE

FIGURE VIII-A-2

DATE: 20 DEC 2005



## $\frac{\mathsf{TYPICAL}\;\mathsf{WATER}\;\mathsf{AND}\;\mathsf{SS}\;\mathsf{LATERALS}}{\mathsf{N}\;\mathsf{T}\;\mathsf{S}}$

## RHODES HOMES ARIZONA, LLC GOLDEN VALLEY RANCH

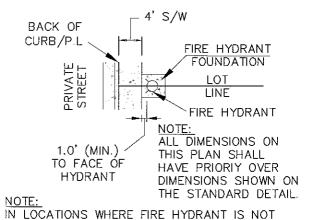


Stanley Consultants INC. 5820 S. EASTERN AVENUE, SUITE 200

5820 S. ÉASTERN AVENUE, SUITE 200 LAS VEGAS NEVADA 89119 (702) 369-9396 Fax (702) 369-9793 SCALE: NOT TO SCALE

FIGURE VIII-A-3

DATE: 20 DEC 2005



FIRE HYDRANT LOCATION
N.T.S.

TO BE 3' FROM BACK OF CURB.

ADJACENT TO A SIDEWALK, FACE OF HYDRANT

### RHODES HOMES ARIZONA, LLC GOLDEN VALLEY RANCH

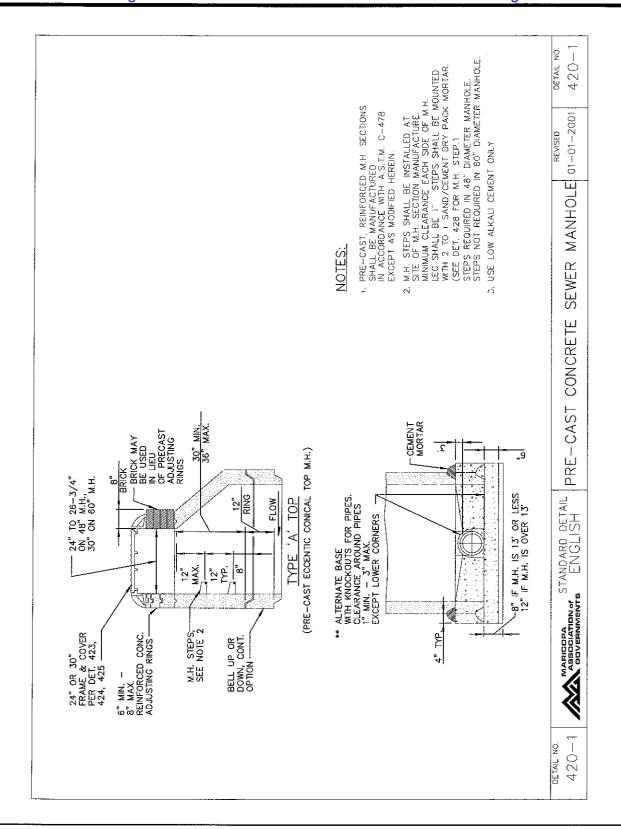


Stanley Consultants INC. 5820 S. EASTERN AVENUE, SUITE 200

5820 S. EASTERN AVENUE, SUITE 200 LAS VEGAS NEVADA 89119 (702) 369-9396 Fax (702) 369-9793 SCALE: NOT TO SCALE

FIGURE VIII-A-4

DATE: 20 DEC 2005



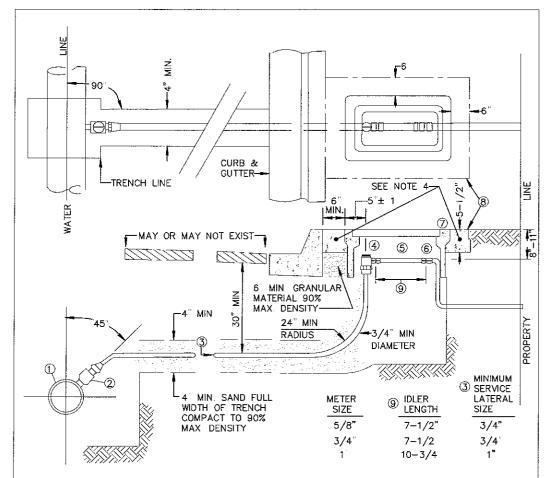


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FIGURE VIII-B

20 DEC 2005 DATE:



#### **LEGEND**

- THREADED COLLAR OR DOUBLE STRAP BRONZE SERVICE SADDLE
- 2 CORPORATE STOP
- 3 POLYETHYLENE OR COPPER SERVICE LATERAL (SEE NOTE 5)
- 4 ANGLE METER STOP (SEE NOTE 1)
- ⑤ IDLER
- 6 90" TAIL PIECE COUPLING
- Ø METER BOX
- (8) CONCRETE COLLAR, 2500 PSI COMPRESSIVE STRENGTH

#### <u>NOTES</u>

- 1. 5/8\*, 3/4", AND 1' REQUIRES BALL ANGLE METER STOP.
- 2. LOCATOR TAPE REQUIRED ABOVE SERVICE LINE IF OTHER THAN 90° OFF WATER MAIN
- 3. TOP OF METER BOX TO BE INSTALLED AS NEAR TO FUTURE FINAL GRADE AS POSSIBLE
- 4. REINFORCEMENT AROUND METER BOX
- 5 WHEN COPPER SERVICE LATERALS ARE USED. FLARED COPPER FITTINGS AND CONNECTIONS ARE REQUIRED

WATER SERVICE INSTALLATION 5/8", 3/4", 1" METER SIZES UNIMPROVED AREA

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FIGURE VIII-C

DATE: 20 DEC 2005